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43	Inclusions and Services Plan - New

PROJECT TYPE					PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m2 Proposed Renovation Area - Inside Existing Residence 109.78 m2 Proposed Roof Area - Class 1 23.44 m2 <b>Block Area 700.00 m2</b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2 Minimum Private Open Space (Block area x 0.60) 420.00 m2 Site Coverage (LARGE   max 40%) 272.75 m2 = 36.10 %	REV	DESIGN PHASE	DATE	DRAWING NAME			
					P1.2	PROJECT PLANS	31/01/2023	PAGE INDEX									
										CUSTOMER APPROVAL							
										NAME	SIGNATURE	DATE	DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER	
											A3	1					

BRAND LOGOS AND PROJECT TYPES	

SYMBOLS AND LINES	
	Roof line
	Raked Ceiling
	Bulkhead
	Wall Opening and Nominal width
	Nominal Dimension, and distance between walls
	Interior Dimension
	Centerpoint Dimension of Openings

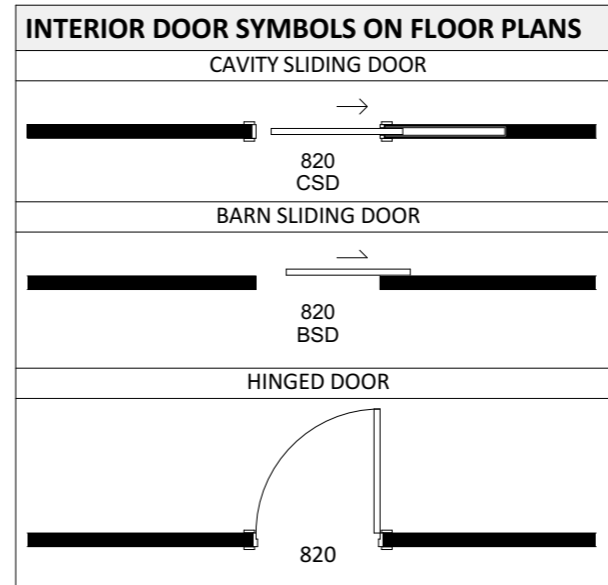
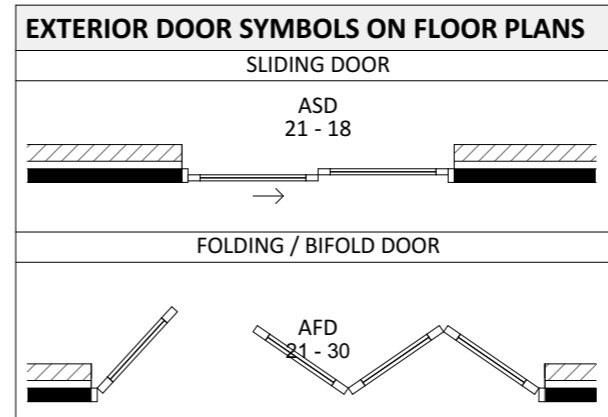
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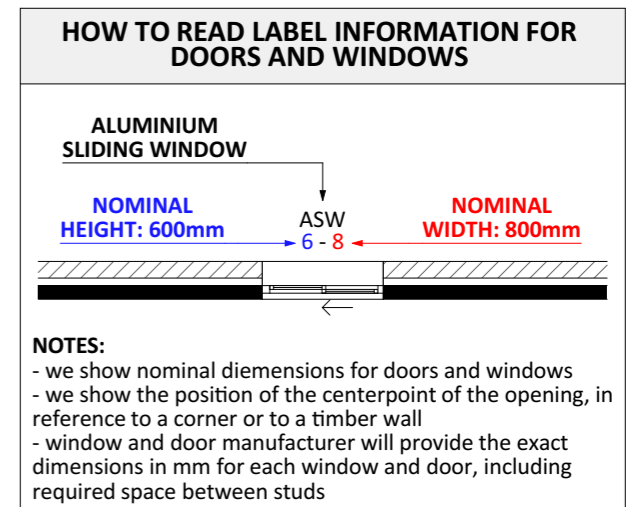
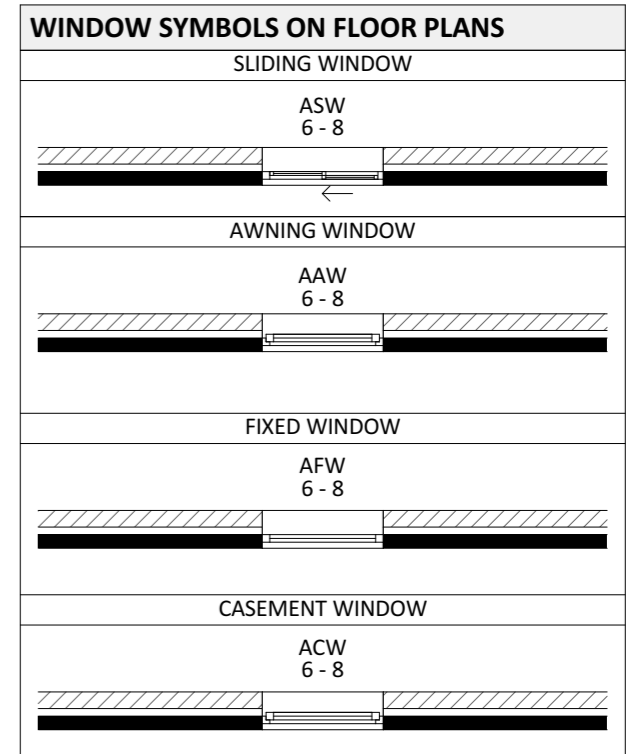
WALLS	
	Timber Wall
	Brick Wall
	Brick Veneer Wall
	Double Brick Wall
	Brick Pier Wall System
	Monocrete Wall
	Concrete Block Wall System
	Stone / Masonry Wall
	Rammed Earth Wall
	Brick Pier
	Timber Post
	Steel Post

FLOOR COVERING CATEGORIES	
	Tiled or Slate
	Carpet
	Planks, Bamboo or Floating Floorboards
	Vinyl, Linoleum or Cork
	No Floor Covering

DOOR TYPES	
ASD	Aluminium Sliding Door
AFD	Aluminium Folding / Bifold Door
TSD	Timber Sliding Door
TFD	Timber Folding / Bifold Door
CSD	Cavity Sliding Door
BSD	Barn Sliding Door



WINDOW TYPES	
ASW	Aluminium Sliding Window
AAW	Aluminium Awning Window
AFW	Aluminium Fixed Window
ACW	Aluminium Casement Window
TSW	Timber Sliding Window
TAW	Timber Awning Window
TFW	Timber Fixed Window
TCW	Timber Casement Window



PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1 22.45 m<sup>2</sup>  
 Proposed Renovation Area - Inside Existing Residence 109.78 m<sup>2</sup>  
 Proposed Roof Area - Class 1 23.44 m<sup>2</sup>  
**Block Area 700.00 m<sup>2</sup>**  
 Actual Block Ratio 30.52 %  
 Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m<sup>2</sup>  
 Minimum Private Open Space (Block area x 0.60) 420.00 m<sup>2</sup>  
 Site Coverage (LARGE | max 40%) 272.75 m<sup>2</sup> = 36.10 %

REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME			
<b>GENERAL LEGEND</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	2	

PROJECT TYPE

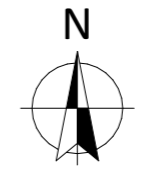
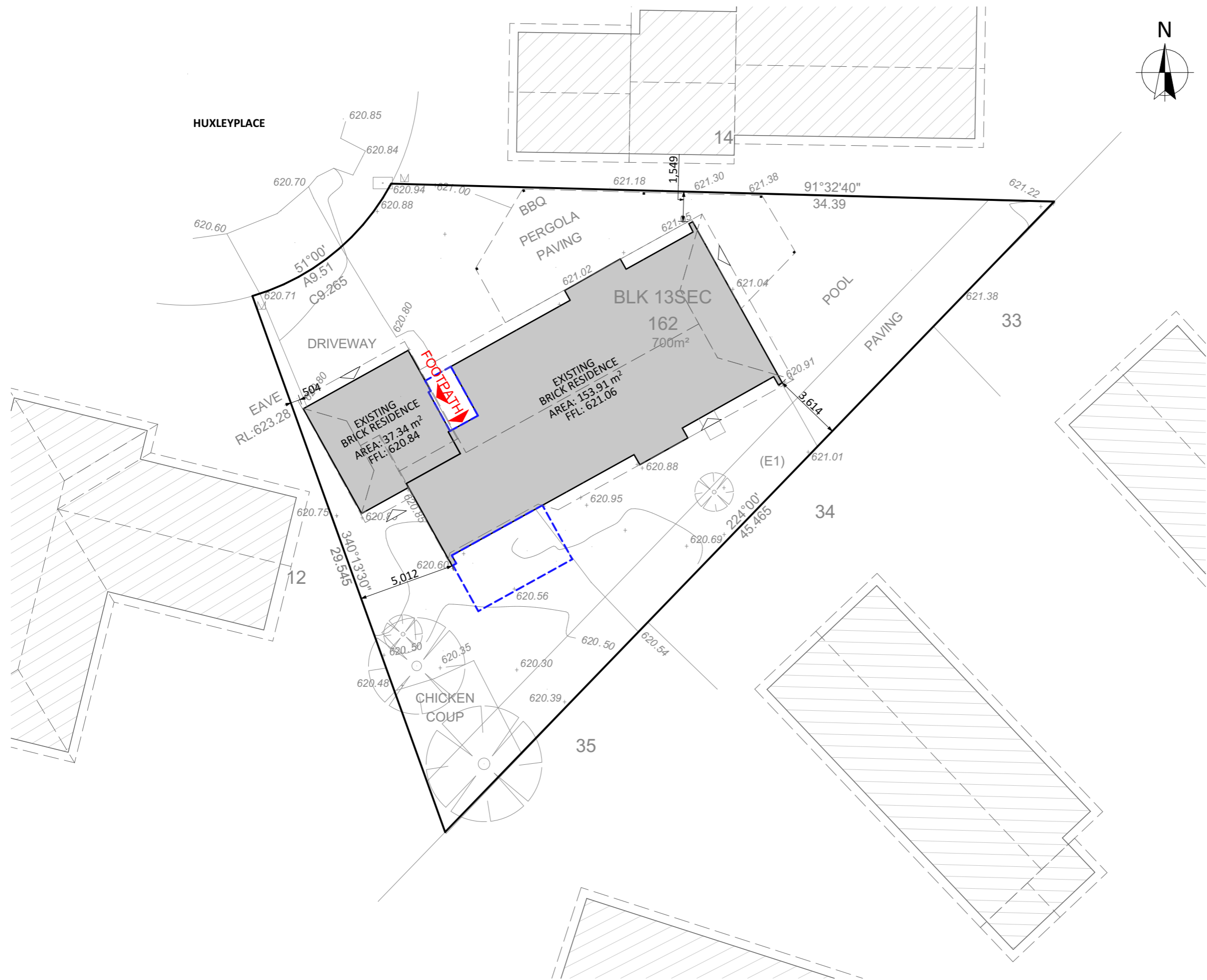
ARCHITECT

DESIGNER

TEMPLATE

BLOCK TYPE

LARGE



- SITE PLAN LEGEND:**
- Studied Block property line
  - Other Property lines and elements
  - Trees
  - Entrance of Existing structures
  - Existing Structures in the vicinity
  - Existing Structures on studied block
  - Cut area / footprint of the proposed structure
  - LON: / LAT:** Coordinates from ACT MAPI
- OVERHEAD ELECTRICAL CABLE LEGEND:**
- Overhead Service Line, In Service
  - Overhead LV Electric Line
  - Overhead HV Electric Line
  - Telstra and Unidentified - Aerial cable
- NOTE:**
- Block Type: LARGE
  - Source: Survey
  - Date of Surveyor visit: 02/02/2022
- DEMOLITION LEGEND:**
- Elements to be demolished or removed
  - Overhead Aerial Cable to be moved
  - TEXT** Label for elements to be demolished or removed

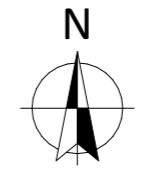
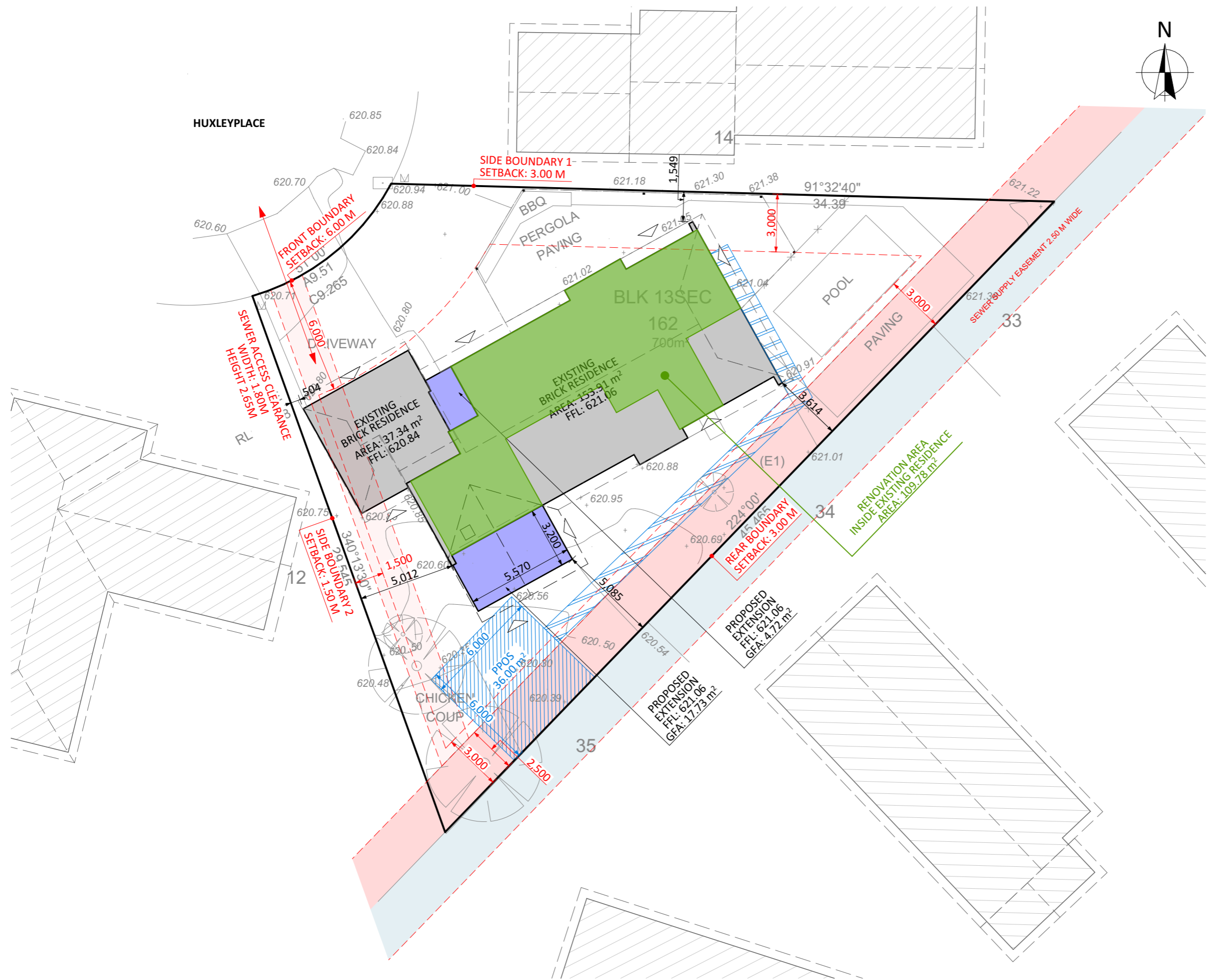
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

PROJECT DETAILS				

Proposed Structure GFA - Single Storey - Class 1	22.45 m2
Proposed Renovation Area - Inside Existing Residence	109.78 m2
Proposed Roof Area - Class 1	23.44 m2
<b>Block Area</b>	<b>700.00 m2</b>
Actual Block Ratio	30.52 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m2
Minimum Private Open Space (Block area x 0.60)	420.00 m2
Site Coverage (LARGE   max 40%)	272.75 m2 = 36.10 %

REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

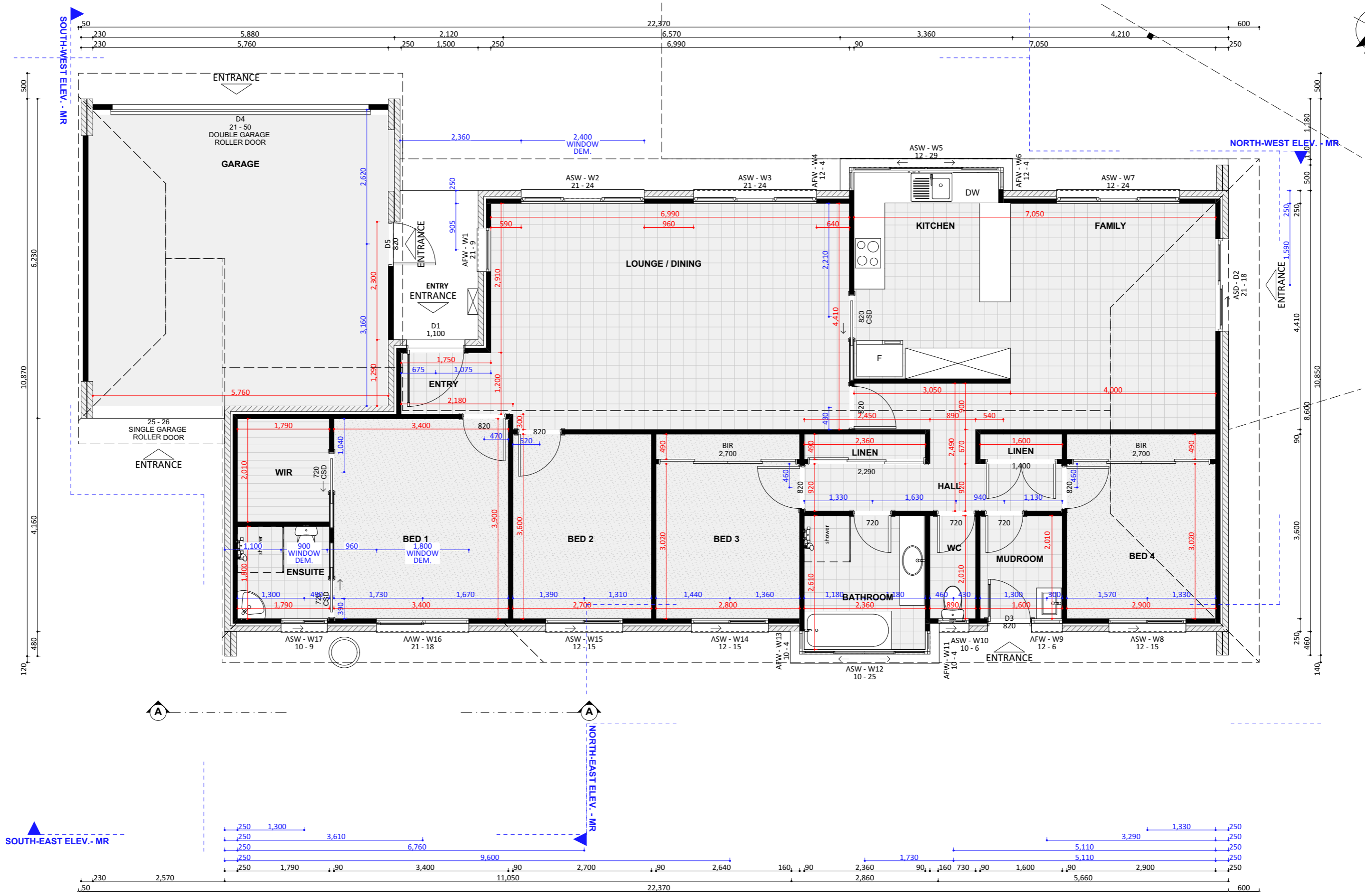
DRAWING NAME			
<b>SITE PLAN - DEMOLITION</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:200	A3	3	



- SITE PLAN LEGEND:**
- Studied Block property line
  - Other Property lines and elements
  - Trees
  - Entrance of Existing structures
  - Existing Structures in the vicinity
  - Existing Structures on the block
  - Existing Footpath, Driveway, Deck on the block
  - Proposed Structure
  - Proposed Deck, Stairs, Alfresco, Paths, Water Tank and Driveway
  - Renovation Area Inside Existing Residence
  - Access to PPOS - Principal Private Open Space
  - PPOS - Principal Private Open Space
- EASEMENT LEGEND:**
- Easement maintenance access
  - Stormwater easement
  - Sewer easement
  - Electrical easement
  - Stormwater overlapping Electrical easement
  - Sewer overlapping Electrical easement
  - Stormwater overlapping Sewer easement
  - Gas easement
  - Right of Way easement
  - Telecommunications easement
  - Water easement

**NOTE:**  
 - Block Type: LARGE  
 - Source: Survey  
 - Date of Surveyor visit: 02/02/2022

<b>PROJECT DETAILS</b>					Proposed Structure GFA - Single Storey - Class 1 22.45 m2 Proposed Renovation Area - Inside Existing Residence 109.78 m2 Proposed Roof Area - Class 1 23.44 m2 <b>Block Area 700.00 m2</b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2 Minimum Private Open Space (Block area x 0.60) 420.00 m2 Site Coverage (LARGE   max 40%) 272.75 m2 = 36.10 %	REV P1.2	DESIGN PHASE PROJECT PLANS	DATE 31/01/2023	<b>DRAWING NAME</b>			
PROJECT TYPE						<b>SITE PLAN - NEW</b>				DRAWING SCALE	SHEET SIZE	DRAWING NUMBER
ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE	LARGE	CUSTOMER APPROVAL			1:200	A3	4		
					NAME	SIGNATURE	DATE					



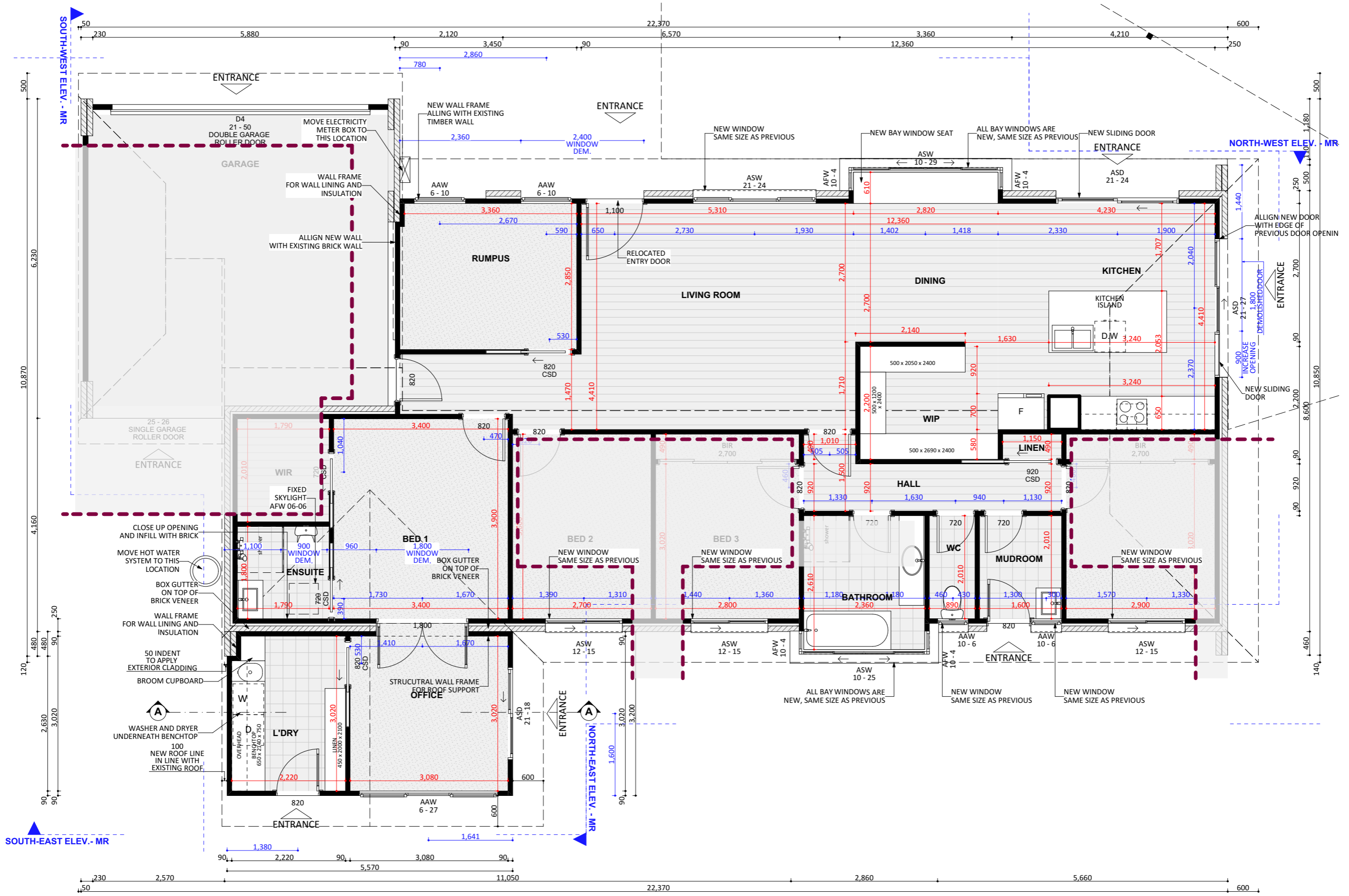
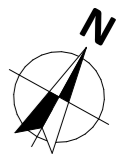
**PROJECT DETAILS**

Proposed Structure GFA - Single Storey - Class 1	22.45 m <sup>2</sup>
Proposed Renovation Area - Inside Existing Residence	109.78 m <sup>2</sup>
Proposed Roof Area - Class 1	23.44 m <sup>2</sup>
<b>Block Area</b>	<b>700.00 m<sup>2</sup></b>
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Minimum Private Open Space (Block area x 0.60)	420.00 m <sup>2</sup>
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REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
<b>FLOOR PLAN - EXISTING</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:70	A3	5	

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE



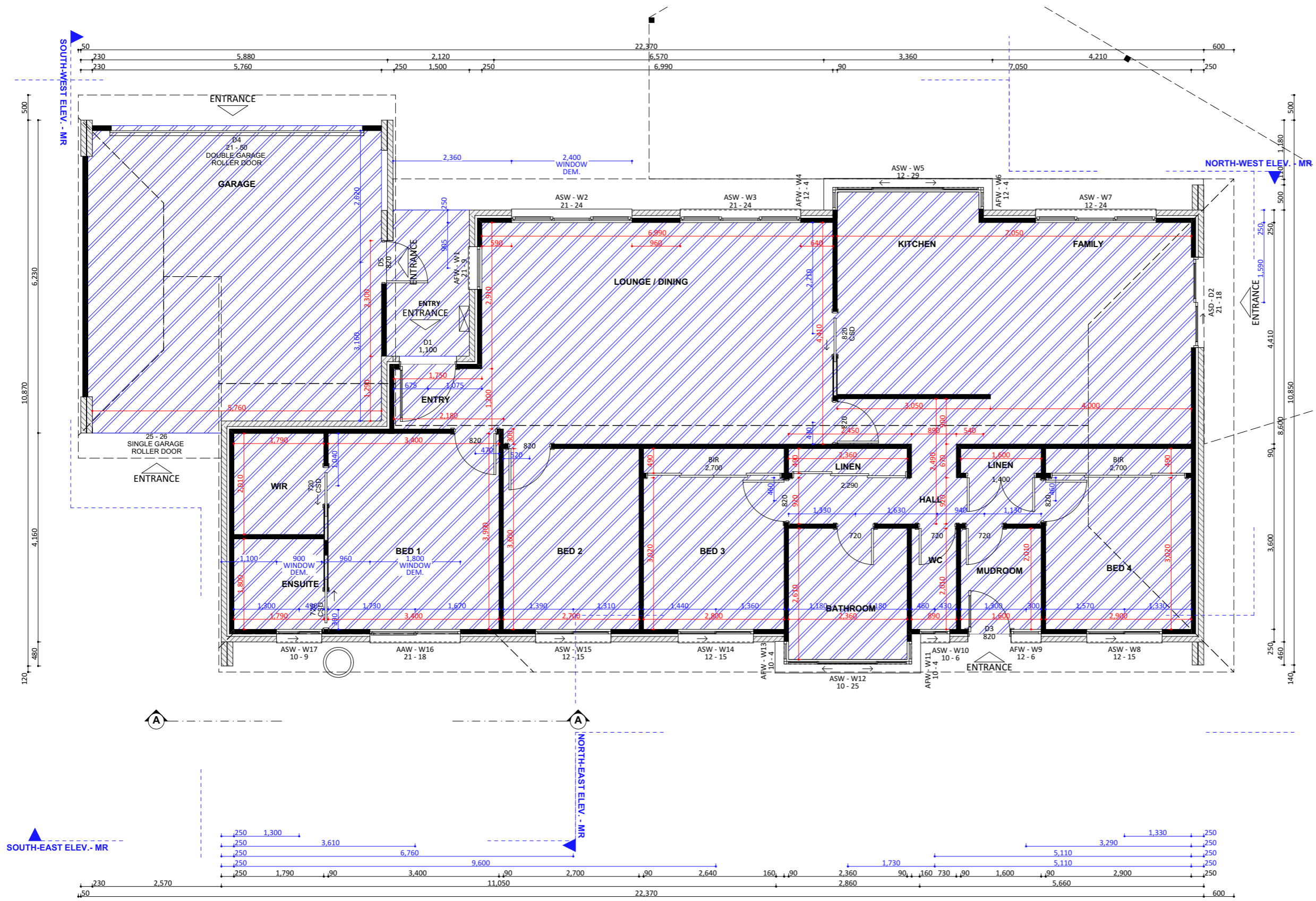
**PROJECT DETAILS**

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

Proposed Structure GFA - Single Storey - Class 1 22.45 m<sup>2</sup>  
 Proposed Renovation Area - Inside Existing Residence 109.78 m<sup>2</sup>  
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REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
<b>FLOOR PLAN - NEW</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:70	A3	6	

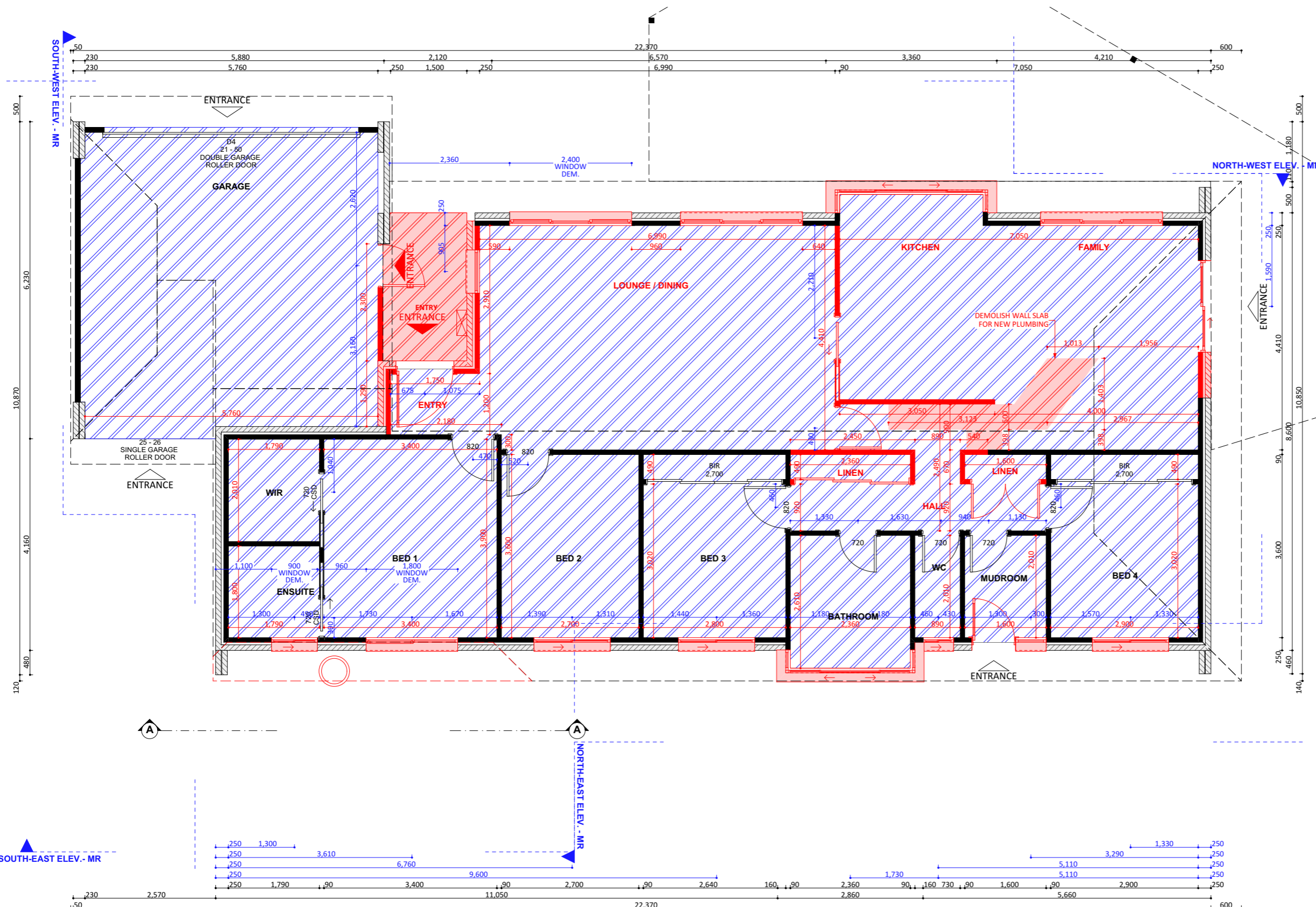


FLOOR SYSTEM LEGEND - EXISTING	
	Timber Floor System with Sheet Flooring
	Timber Floor System with Timber Floorboards
	Timber Floor System with Hebel
	Concrete Slab System
	Suspended Concrete Slab System

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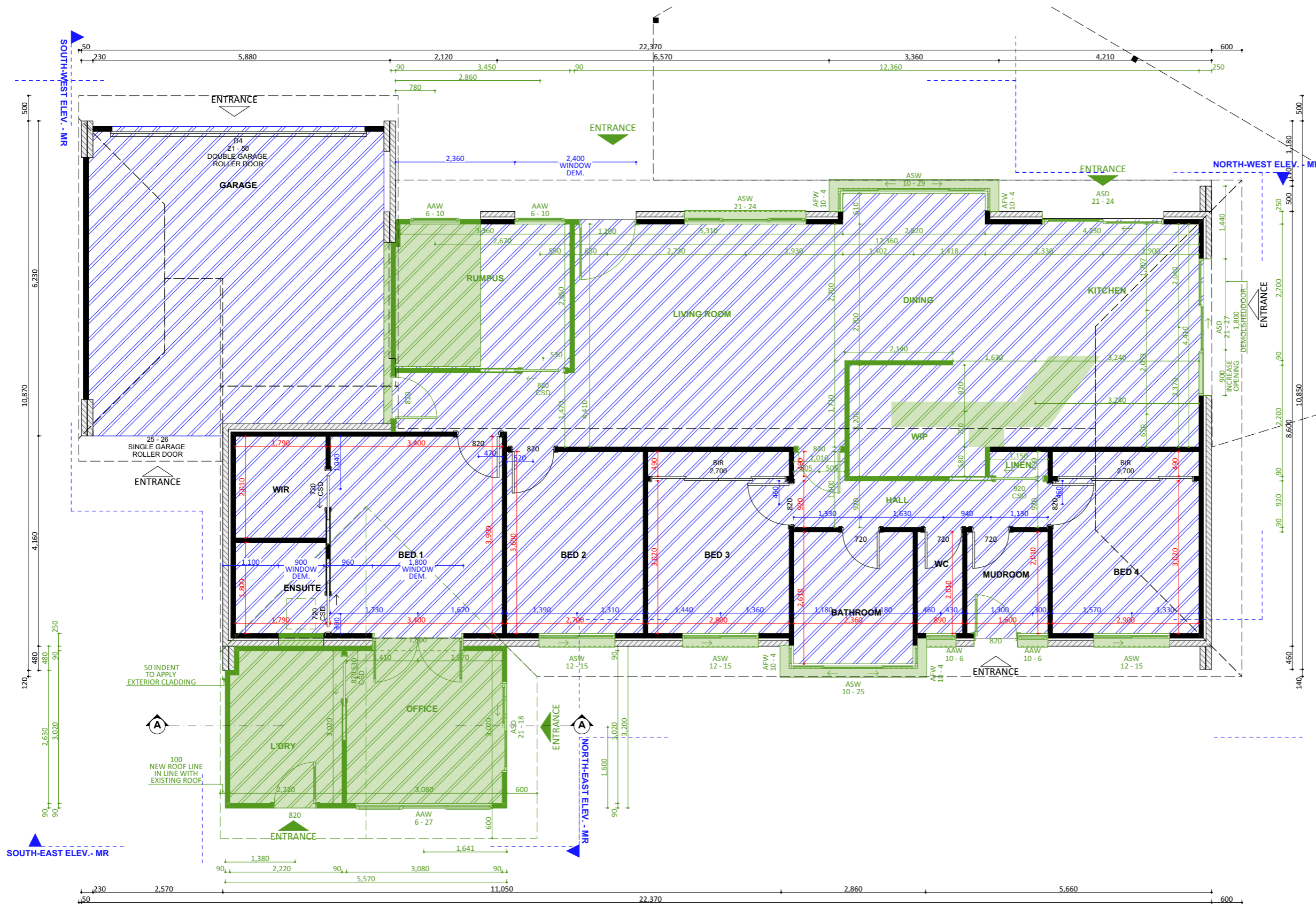
PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m <sup>2</sup> Proposed Renovation Area - Inside Existing Residence 109.78 m <sup>2</sup> Proposed Roof Area - Class 1 23.44 m <sup>2</sup> <b>Block Area</b> 700.00 m <sup>2</sup> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m <sup>2</sup> Minimum Private Open Space (Block area x 0.60) 420.00 m <sup>2</sup> Site Coverage (LARGE   max 40%) 272.75 m <sup>2</sup> = 36.10 %	REV	DESIGN PHASE	DATE	DRAWING NAME			
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE		LARGE	P1.2	PROJECT PLANS	31/01/2023	<b>FLOOR PLAN - FLOOR SYSTEMS - EXISTING</b>		
					CUSTOMER APPROVAL			DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER	
								1:80	A3	7		
								NAME	SIGNATURE	DATE		



FLOOR SYSTEM LEGEND - KEEP EXISTING	
	Timber Floor System with Sheet Flooring
	Timber Floor System with Timber Floorboards
	Timber Floor System with Hebel
	Concrete Slab System
	Suspended Concrete Slab System
FLOOR SYSTEM LEGEND - DEMOLITION	
	Demolished Element
	Demolished Timber Wall
	Timber Floor System with Sheet Flooring
	Timber Floor System with Timber Floorboards
	Timber Floor System with Hebel
	Concrete Slab System
	Suspended Concrete Slab System

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PROJECT TYPE ARCHITECT DESIGNER TEMPLATE BLOCK TYPE LARGE					CUSTOMER APPROVAL NAME SIGNATURE DATE			DRAWING SCALE 1:80 SHEET SIZE A3 DRAWING NUMBER 8 CHECKLIST NUMBER

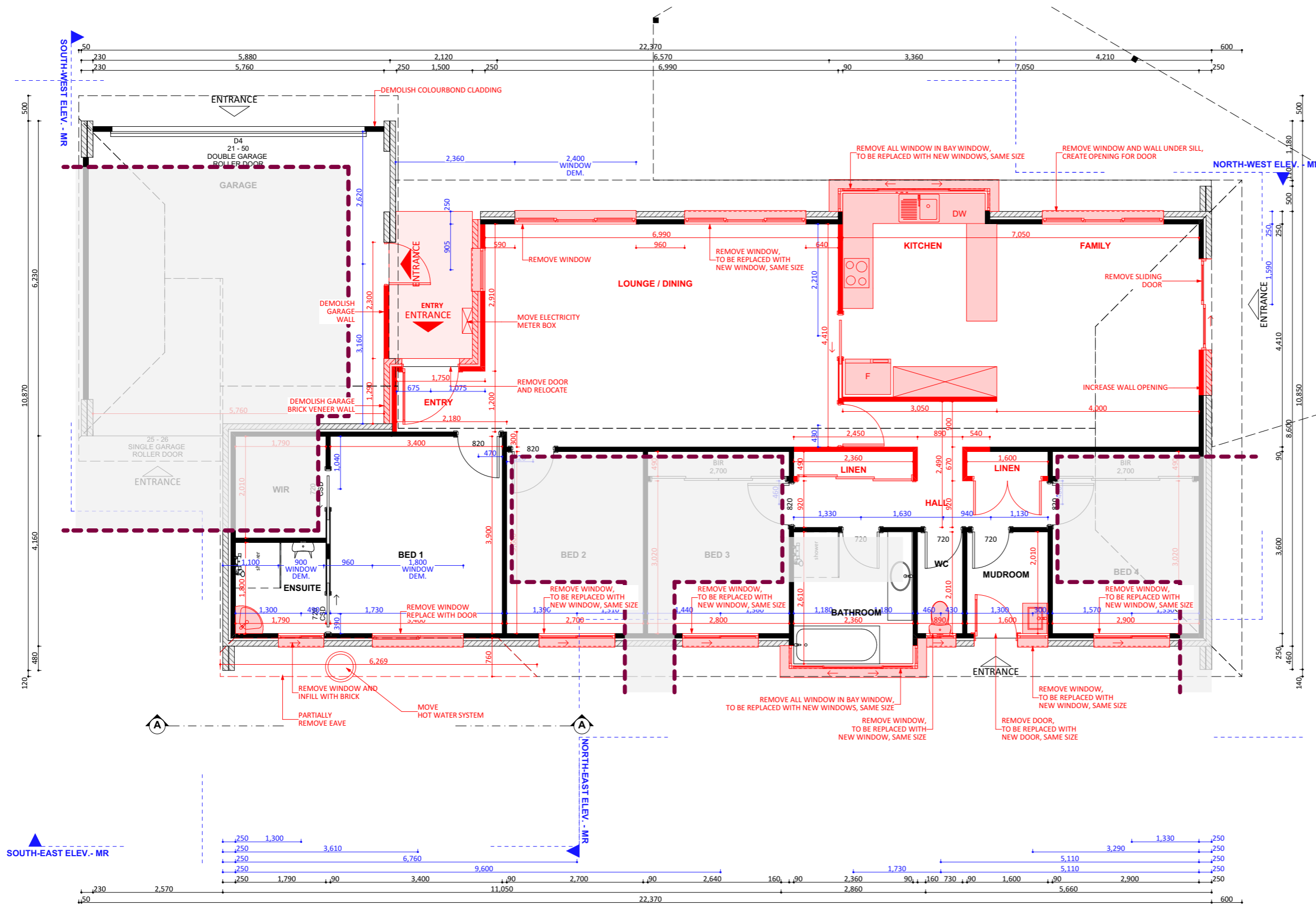


FLOOR SYSTEM LEGEND - KEEP EXISTING	
	Timber Floor System with Sheet Flooring
	Timber Floor System with Timber Floorboards
	Timber Floor System with Hebel
	Concrete Slab System
	Suspended Concrete Slab System
FLOOR SYSTEM LEGEND - NEW	
	Timber Floor System with Sheet Flooring
	Timber Floor System with Timber Floorboards
	Timber Floor System with Hebel
	Concrete Slab System
	Suspended Concrete Slab System

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PROJECT TYPE					PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m <sup>2</sup> Proposed Renovation Area - Inside Existing Residence 109.78 m <sup>2</sup> Proposed Roof Area - Class 1 23.44 m <sup>2</sup> <b>Block Area 700.00 m<sup>2</sup></b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m <sup>2</sup> Minimum Private Open Space (Block area x 0.60) 420.00 m <sup>2</sup> Site Coverage (LARGE   max 40%) 272.75 m <sup>2</sup> = 36.10 %			REV P1.2 DESIGN PHASE PROJECT PLANS DATE 31/01/2023		DRAWING NAME		
ARCHITECT					DESIGNER					CUSTOMER APPROVAL			<b>FLOOR PLAN - FLOOR SYSTEMS - NEW</b>				
TEMPLATE					BLOCK TYPE					DRAWING SCALE		SHEET SIZE		DRAWING NUMBER		CHECKLIST NUMBER	
LARGE										1:80		A3		9			
										NAME		SIGNATURE		DATE			

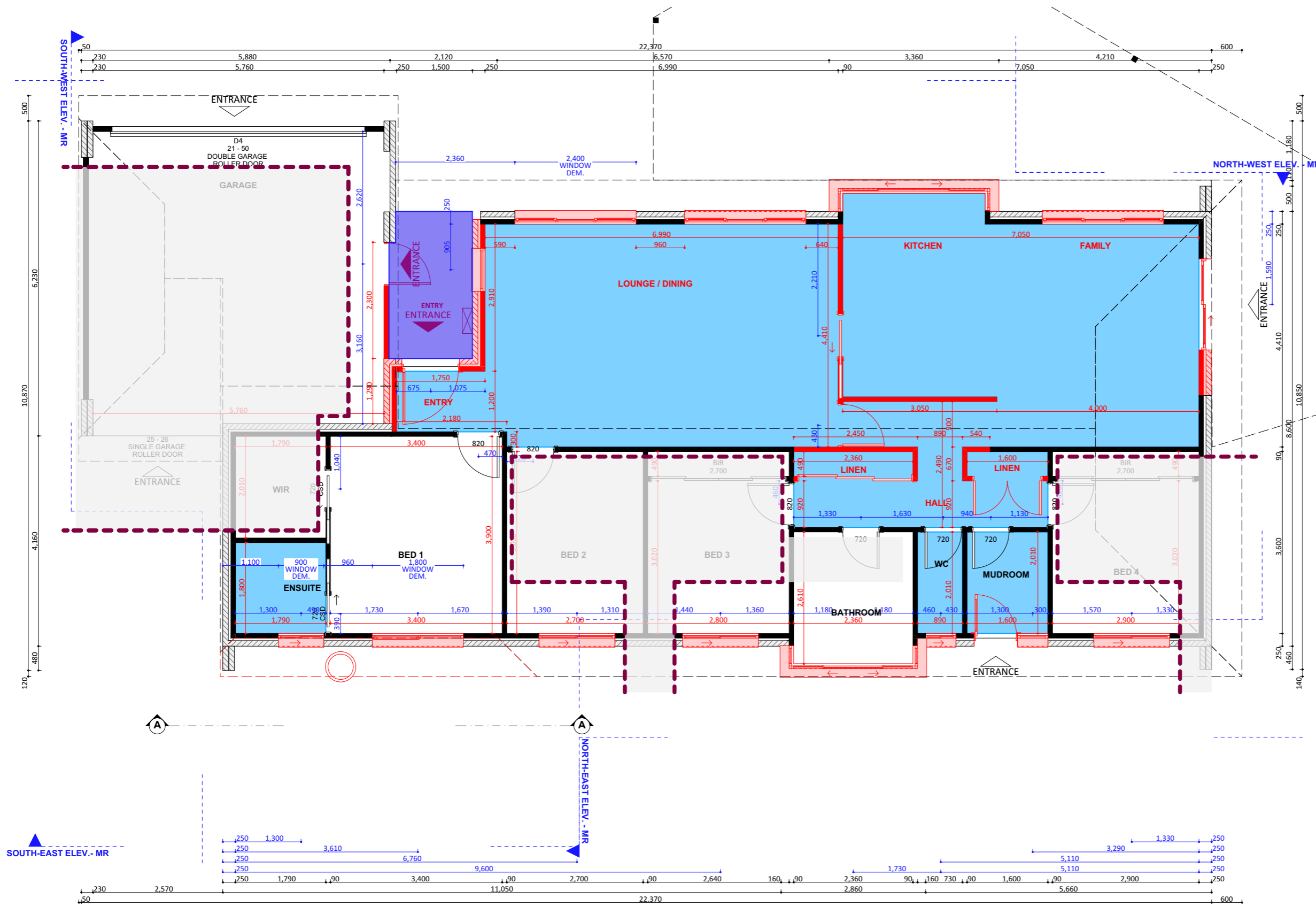
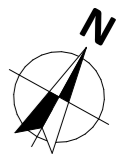


WALLS LEGEND - DEMOLITION	
	Not Part of the Current Renovation
	Working Area for Renovation
	Demolished Element
	Demolished Steps, Stairs, Deck
	Demolished Timber Wall
	Demolished Brick Wall
	Demolished Brick Veneer
	Demolished Brick Veneer Wall
	Demolished Double Brick Wall
	Demolished Brick Pier Wall System
	Demolished Monocrete Wall
	Demolished Concrete Block Wall System
	Demolished Stone / Masonry Wall
	Demolished Rammed Earth Wall

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PROJECT DETAILS					PROPOSED STRUCTURE		REV		DESIGN PHASE		DATE		DRAWING NAME			
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE	Proposed Structure GFA - Single Storey - Class 1	22.45 m <sup>2</sup>	P1.2	PROJECT PLANS	31/01/2023	FLOOR PLAN - DEMOLITION - WALLS AND FIXTURES						
				LARGE	Proposed Renovation Area - Inside Existing Residence	109.78 m <sup>2</sup>	CUSTOMER APPROVAL				DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER		
					Block Area	700.00 m <sup>2</sup>	NAME	SIGNATURE	DATE	1:80	A3	10				
					Actual Block Ratio	30.52 %										
					Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m <sup>2</sup>										
					Minimum Private Open Space (Block area x 0.60)	420.00 m <sup>2</sup>										
					Site Coverage (LARGE   max 40%)	272.75 m <sup>2</sup> = 36.10 %										



FLOOR AND CEILING - DEMOLITION	
	Not Part of the Current Renovation
	Working Area for Renovation
	Demolished Element
	Demolished Timber Wall
	Demolished Floor Covering Only
	Demolished Ceiling Lining Only
	Demolished Floor Covering and Ceiling Lining
	Demolished Stair / steps (it may overlap with floor or ceiling markings)

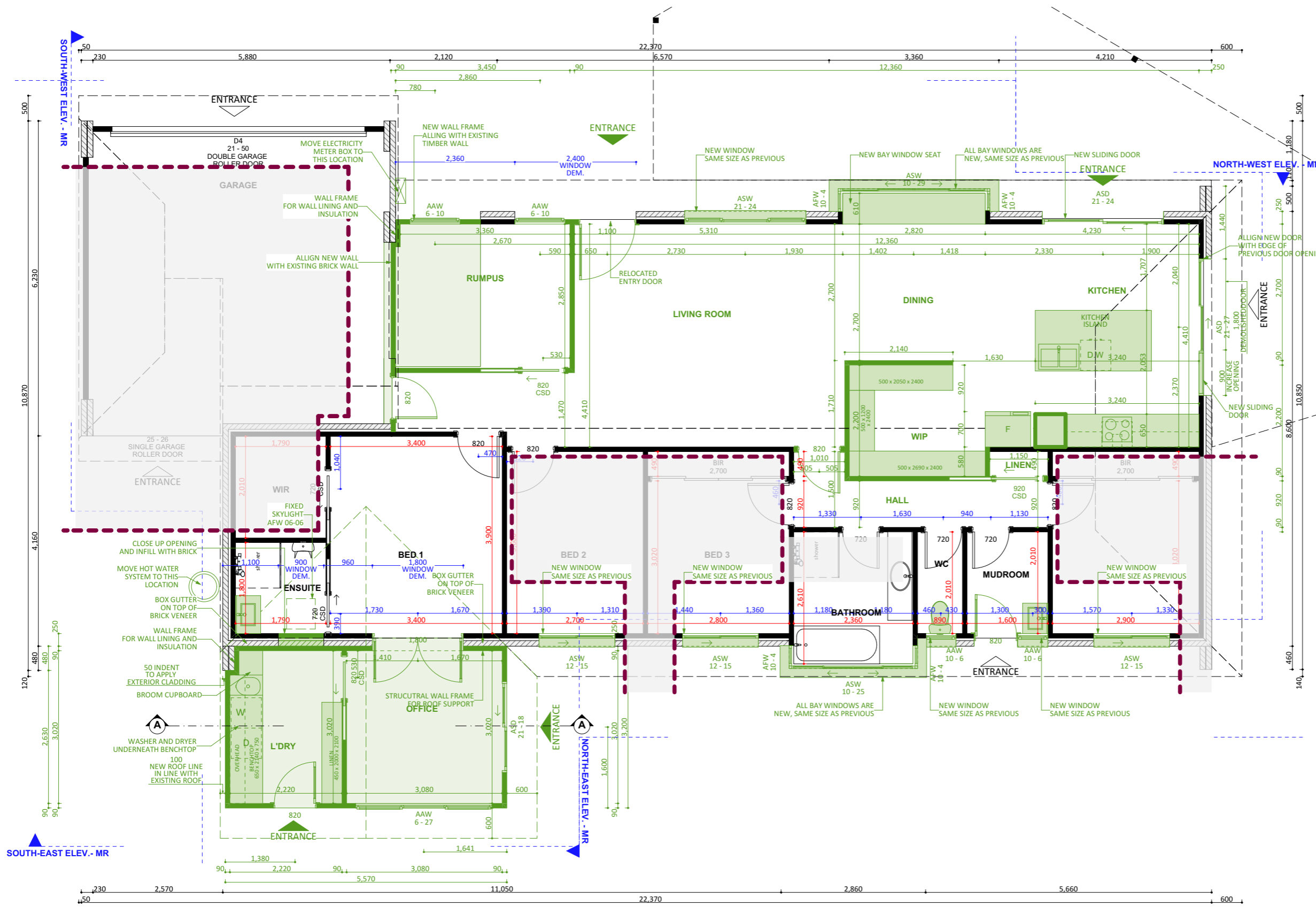
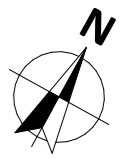
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PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

PROJECT DETAILS				
Proposed Structure GFA - Single Storey - Class 1	22.45 m <sup>2</sup>	REV	DESIGN PHASE	DATE
Proposed Renovation Area - Inside Existing Residence	109.78 m <sup>2</sup>	P1.2	PROJECT PLANS	31/01/2023
Proposed Roof Area - Class 1	23.44 m <sup>2</sup>	CUSTOMER APPROVAL		
<b>Block Area</b>	<b>700.00 m<sup>2</sup></b>	NAME	SIGNATURE	DATE
Actual Block Ratio	30.52 %			
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m <sup>2</sup>			
Minimum Private Open Space (Block area x 0.60)	420.00 m <sup>2</sup>			
Site Coverage (LARGE   max 40%)	272.75 m <sup>2</sup> = 36.10 %			

DRAWING NAME	FLOOR PLAN - DEMOLITION - FLOOR AND CEILING FINISHES		
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:80	A3	11	



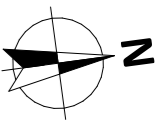
WALLS LEGEND - NEW	
	Not Part of the Current Renovation
	Working Area for Renovation
	New Element
	New Steps, Stairs, Deck
	New Timber Wall
	New Brick Wall
	New Brick Veneer
	New Brick Veneer Wall
	New Double Brick Wall
	New Brick Pier Wall System
	New Monocrete Wall
	New Concrete Block Wall System
	New Stone / Masonry Wall
	New Rammed Earth Wall

**NOTES:**

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PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m <sup>2</sup> Proposed Renovation Area - Inside Existing Residence 109.78 m <sup>2</sup> Proposed Roof Area - Class 1 23.44 m <sup>2</sup> <b>Block Area</b> 700.00 m <sup>2</sup> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m <sup>2</sup> Minimum Private Open Space (Block area x 0.60) 420.00 m <sup>2</sup> Site Coverage (LARGE   max 40%) 272.75 m <sup>2</sup> = 36.10 %	REV	DESIGN PHASE	DATE	DRAWING NAME			
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE		LARGE	P1.2	PROJECT PLANS	31/01/2023	<b>FLOOR PLAN - NEW ONLY</b>		
					CUSTOMER APPROVAL			DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER	
								1:80	A3	12		
								NAME	SIGNATURE	DATE		

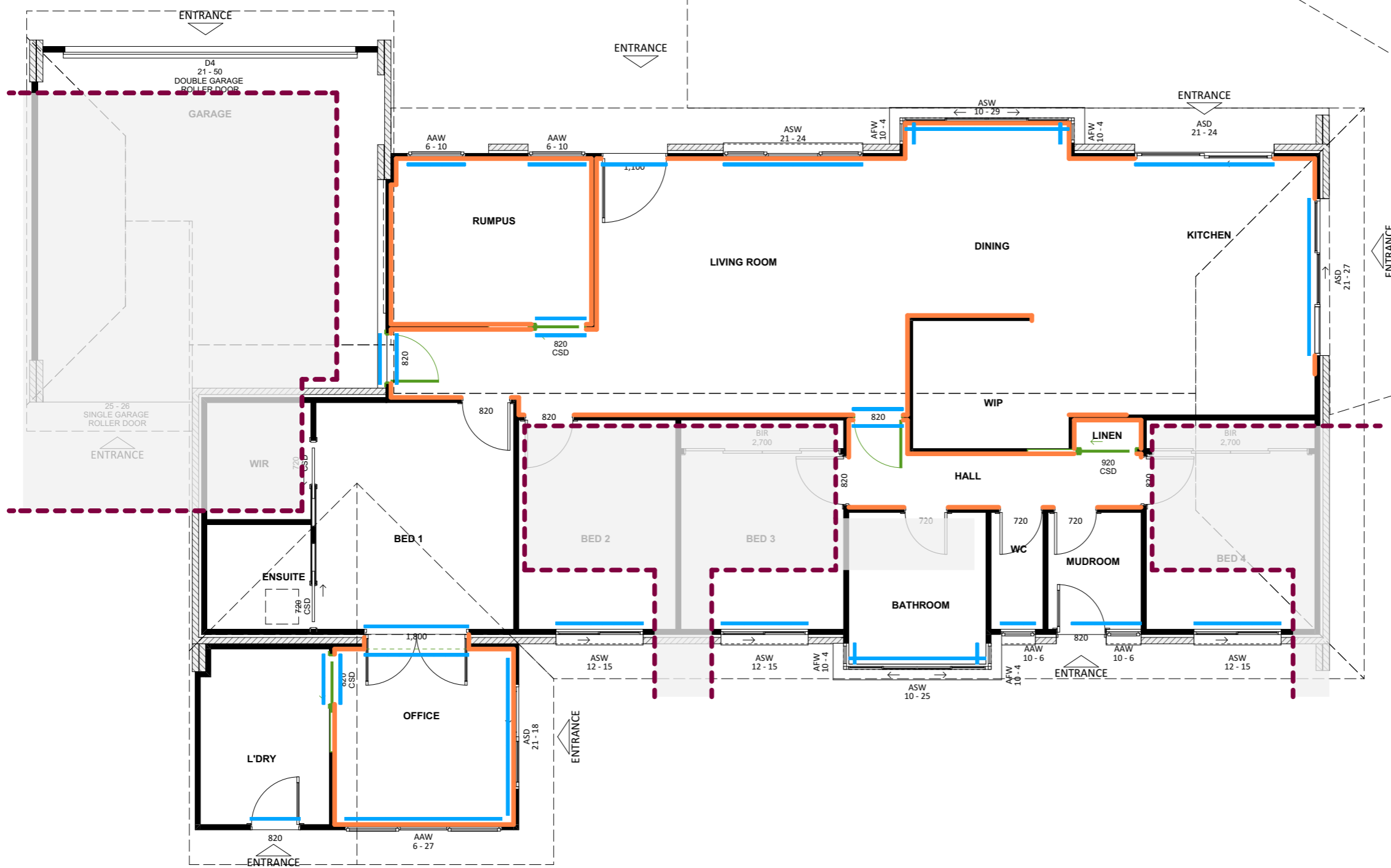




NEW FITOUT - LEGEND	
	Not Part of the Current Renovation
	Working Area for Renovation
	New Interior Doors
	New Skirting
	New Architraves
	New Stairs

NOTES:

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- Before ordering any materials, builders must check the measurements on-site.
- Underground services have not been located.



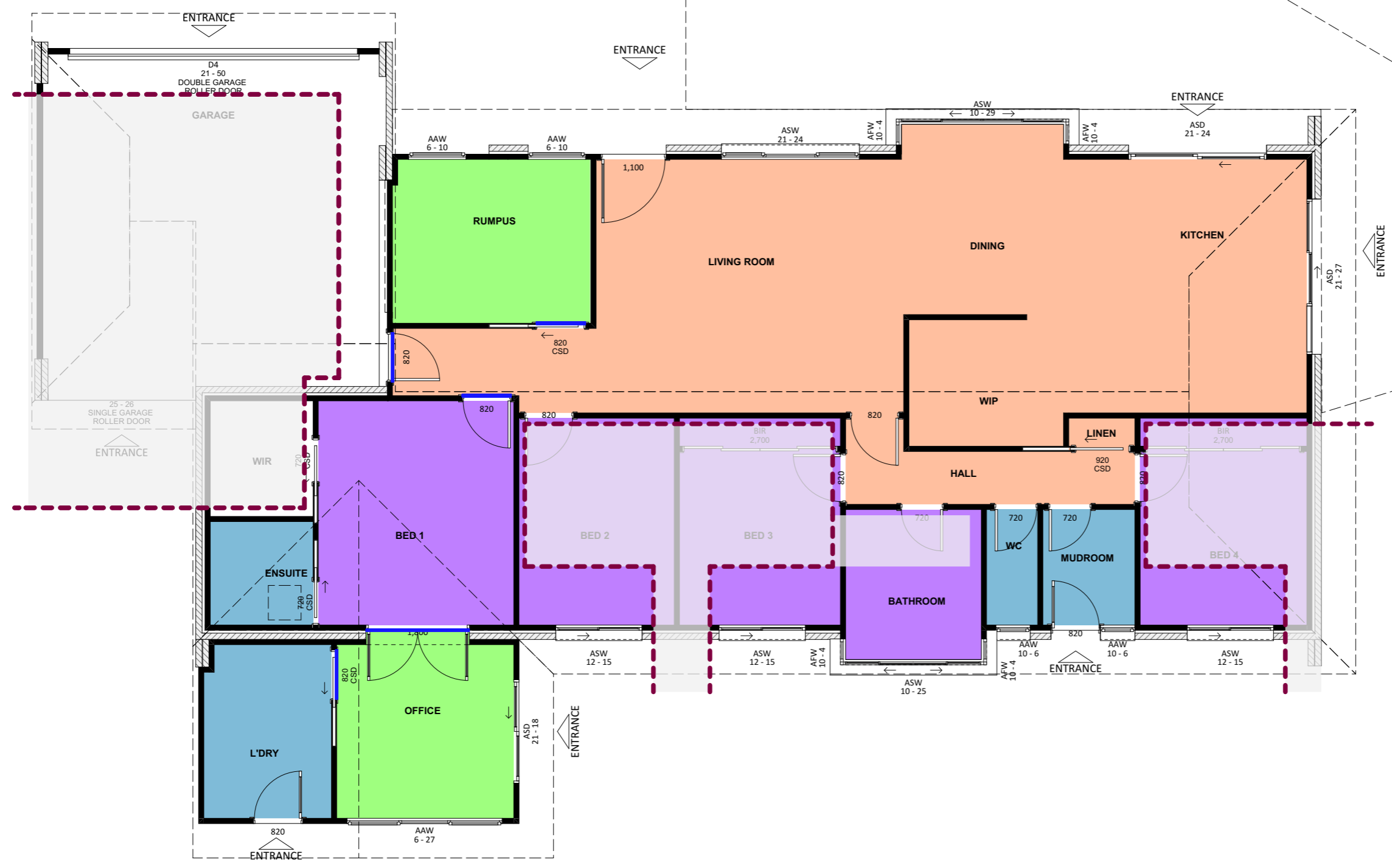
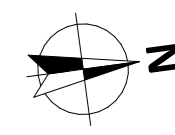
PROJECT DETAILS

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

Proposed Structure GFA - Single Storey - Class 1 22.45 m<sup>2</sup>  
 Proposed Renovation Area - Inside Existing Residence 109.78 m<sup>2</sup>  
 Proposed Roof Area - Class 1 23.44 m<sup>2</sup>  
**Block Area 700.00 m<sup>2</sup>**  
 Actual Block Ratio 30.52 %  
 Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m<sup>2</sup>  
 Minimum Private Open Space (Block area x 0.60) 420.00 m<sup>2</sup>  
 Site Coverage (LARGE | max 40%) 272.75 m<sup>2</sup> = 36.10 %

REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
FLOOR PLAN - INTERIOR FITOUT			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:80	A3	14	

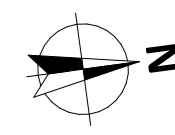


FLOOR COVERING - LEGEND	
	Not Part of the Current Renovation
	Working Area for Renovation
	Existing Floor to Remain
	New Flooring - Living Areas / Rumpus
	New Flooring - Bedroom / Study
	New Flooring - Wet Area
	No Floor Covering
	Floor Transition

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- Before ordering any materials, builders must check the measurements on-site.
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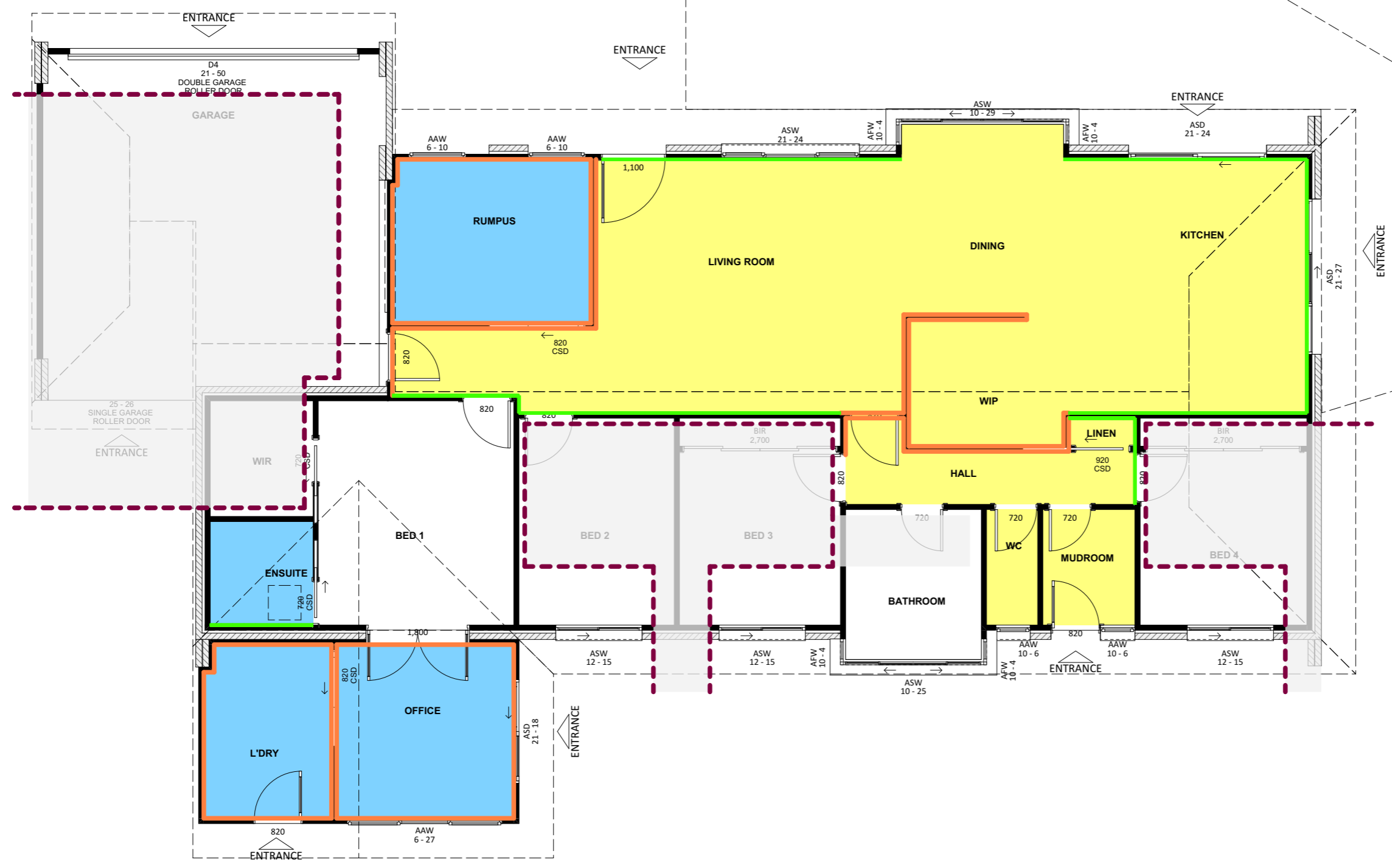
PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m2 Proposed Renovation Area - Inside Existing Residence 109.78 m2 Proposed Roof Area - Class 1 23.44 m2 <b>Block Area 700.00 m2</b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2 Minimum Private Open Space (Block area x 0.60) 420.00 m2 Site Coverage (LARGE   max 40%) 272.75 m2 = 36.10 %	REV	DESIGN PHASE	DATE	DRAWING NAME			
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE LARGE		P1.2	PROJECT PLANS	31/01/2023	<b>FLOOR PLAN - FLOOR COVERING</b>			
					CUSTOMER APPROVAL			DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER	
					NAME	SIGNATURE	DATE	1:80	A3	15		



WALL AND CEILING LINING - LEGEND	
	Not Part of the Current Renovation
	Working Area for Renovation
	New Wall Lining
	Patch Existing Wall lining
	New Ceiling Lining and Cornice
	Patch Existing Ceiling Lining

NOTES:

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- Underground services have not been located.



PROJECT DETAILS				
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

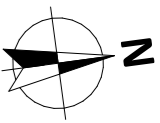
Proposed Structure GFA - Single Storey - Class 1	22.45 m <sup>2</sup>
Proposed Renovation Area - Inside Existing Residence	109.78 m <sup>2</sup>
Proposed Roof Area - Class 1	23.44 m <sup>2</sup>
<b>Block Area</b>	<b>700.00 m<sup>2</sup></b>
Actual Block Ratio	30.52 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m <sup>2</sup>
Minimum Private Open Space (Block area x 0.60)	420.00 m <sup>2</sup>
Site Coverage (LARGE   max 40%)	272.75 m <sup>2</sup> = 36.10 %

REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

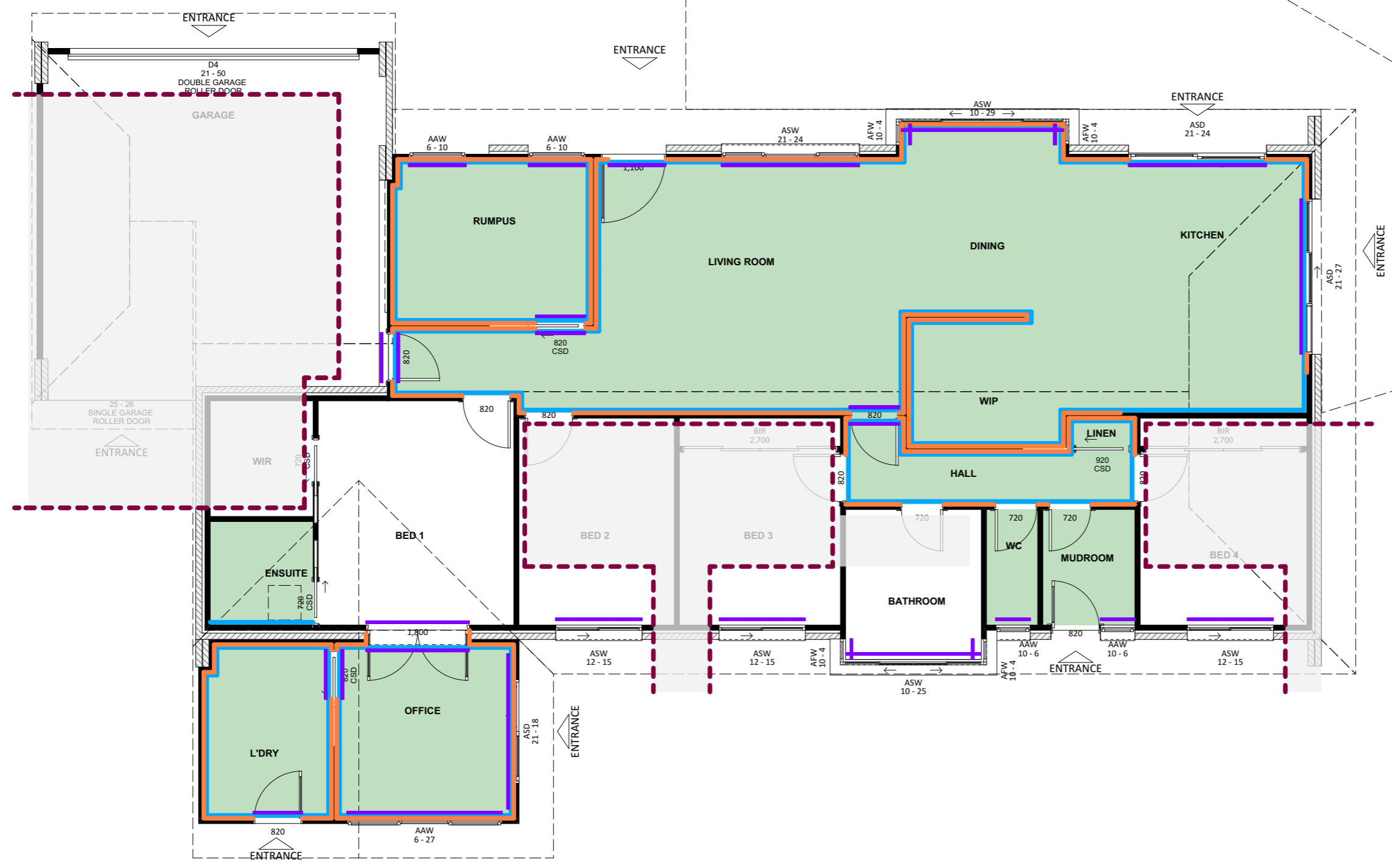
DRAWING NAME			
<b>FLOOR PLAN - WALL AND CEILING LINING</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:80	A3	16	



PAINTING - LEGEND	
	Not Part of the Current Renovation
	Working Area for Renovation
	Paint Wall
	Paint Ceiling and Cornice
	Paint Skirting
	Paint Architrave

NOTES:

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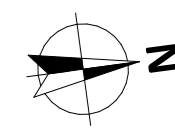
PROJECT DETAILS

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

Proposed Structure GFA - Single Storey - Class 1 22.45 m<sup>2</sup>  
 Proposed Renovation Area - Inside Existing Residence 109.78 m<sup>2</sup>  
 Proposed Roof Area - Class 1 23.44 m<sup>2</sup>  
**Block Area 700.00 m<sup>2</sup>**  
 Actual Block Ratio 30.52 %  
 Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m<sup>2</sup>  
 Minimum Private Open Space (Block area x 0.60) 420.00 m<sup>2</sup>  
 Site Coverage (LARGE | max 40%) 272.75 m<sup>2</sup> = 36.10 %

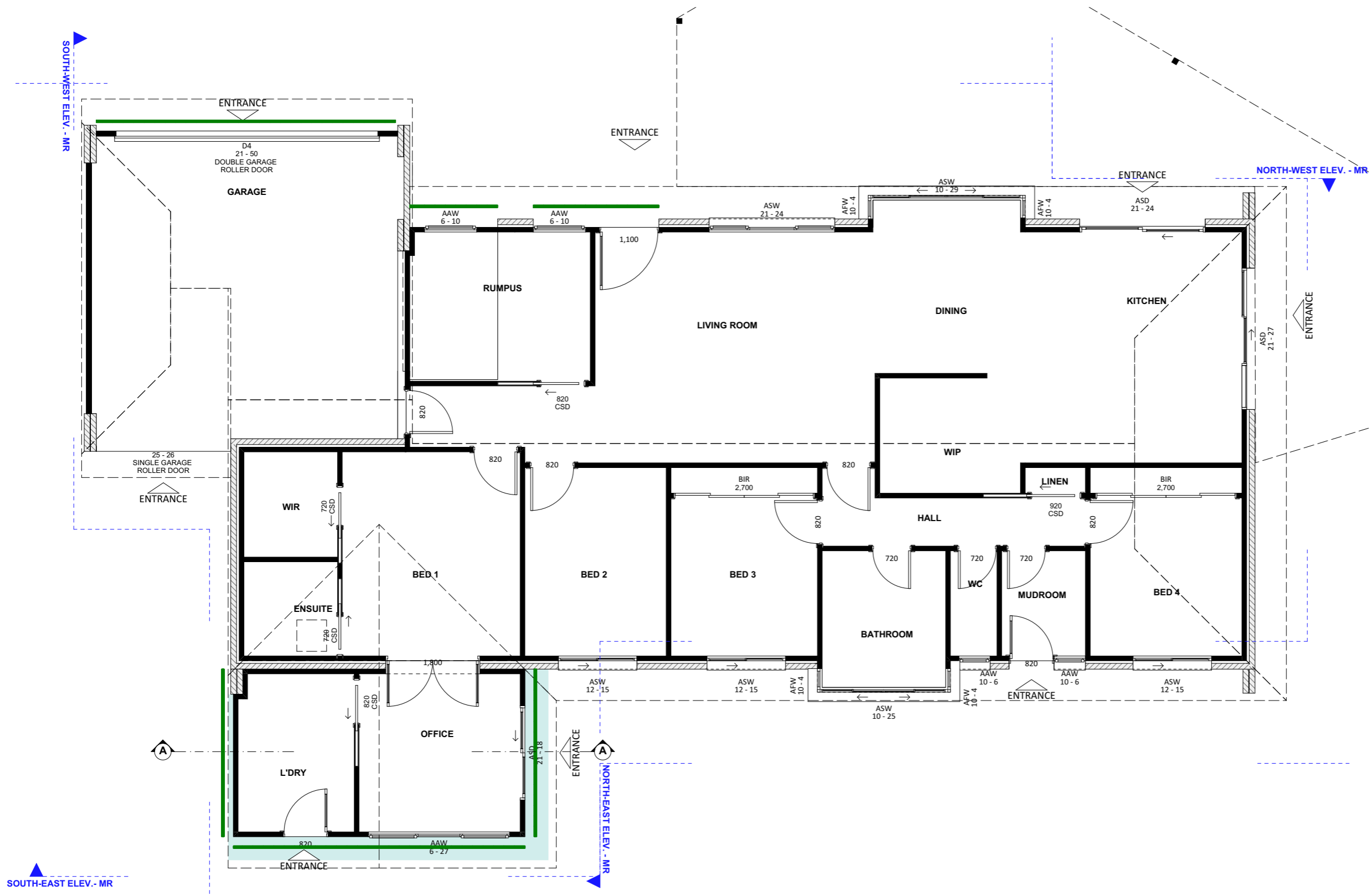
REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
FLOOR PLAN - PAINTING			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:80	A3	17	

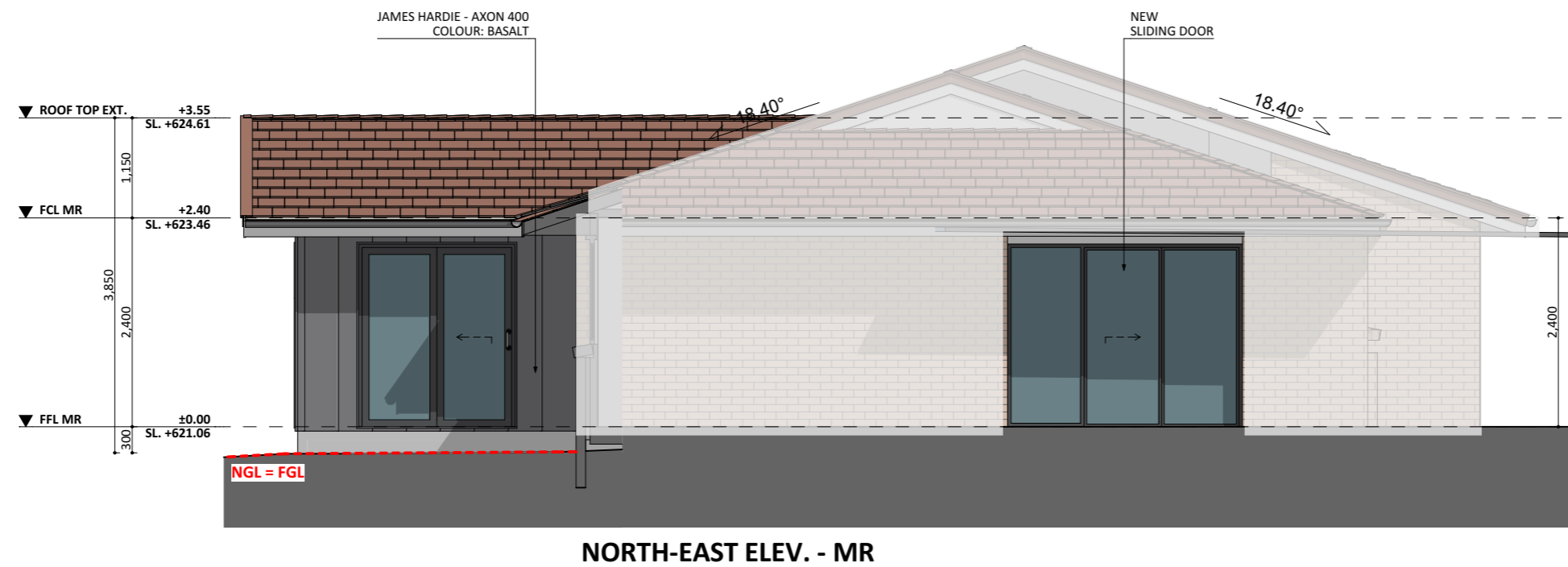
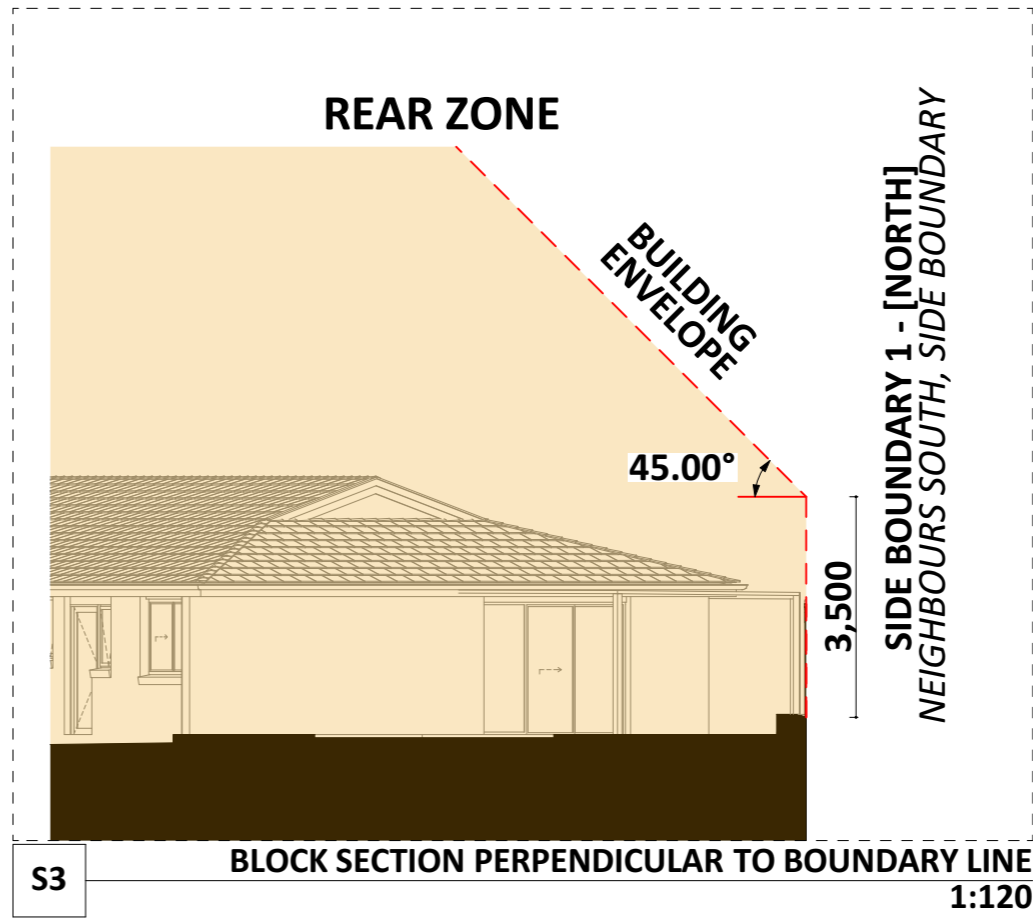
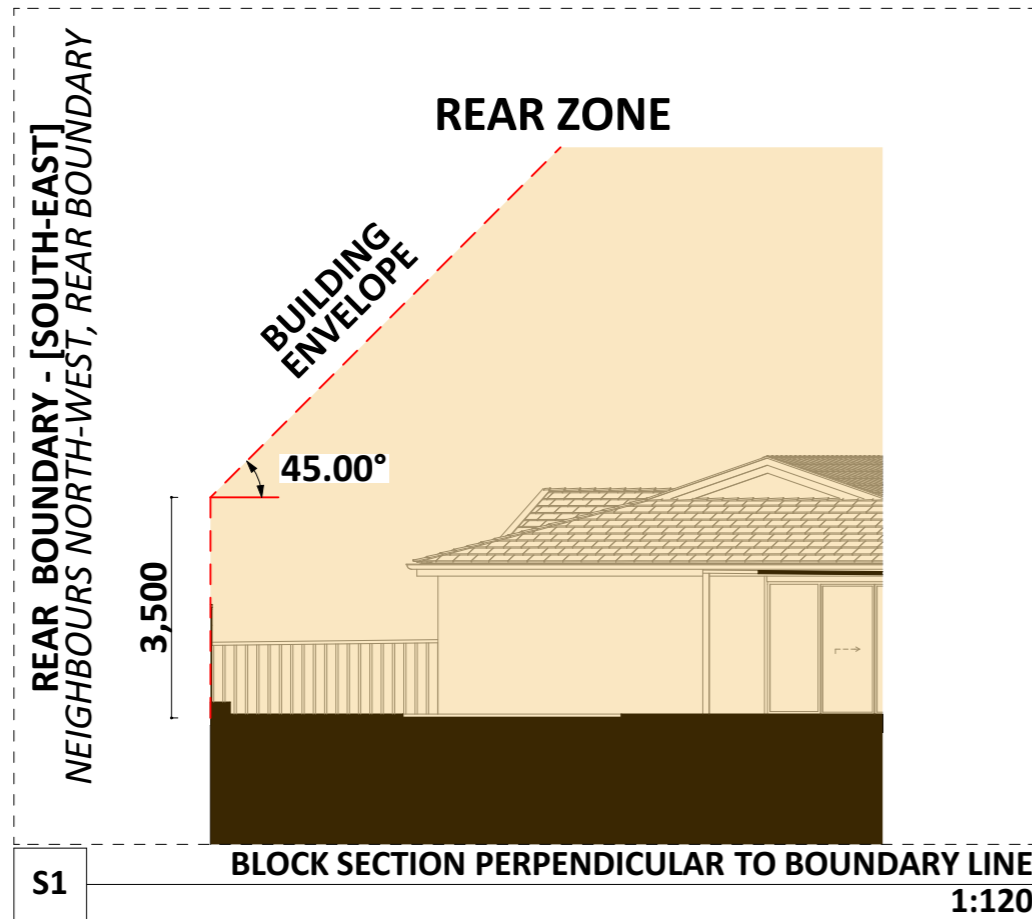


EXTERIOR WALLS AND EAVES - LEGEND	
	Paint / Re-paint Brick Wall
	Render Brick Wall
	Re-paint Existing Cladding
	New Cladding
	New Eaves and Paint
	Re-paint Eaves

NOTES:  
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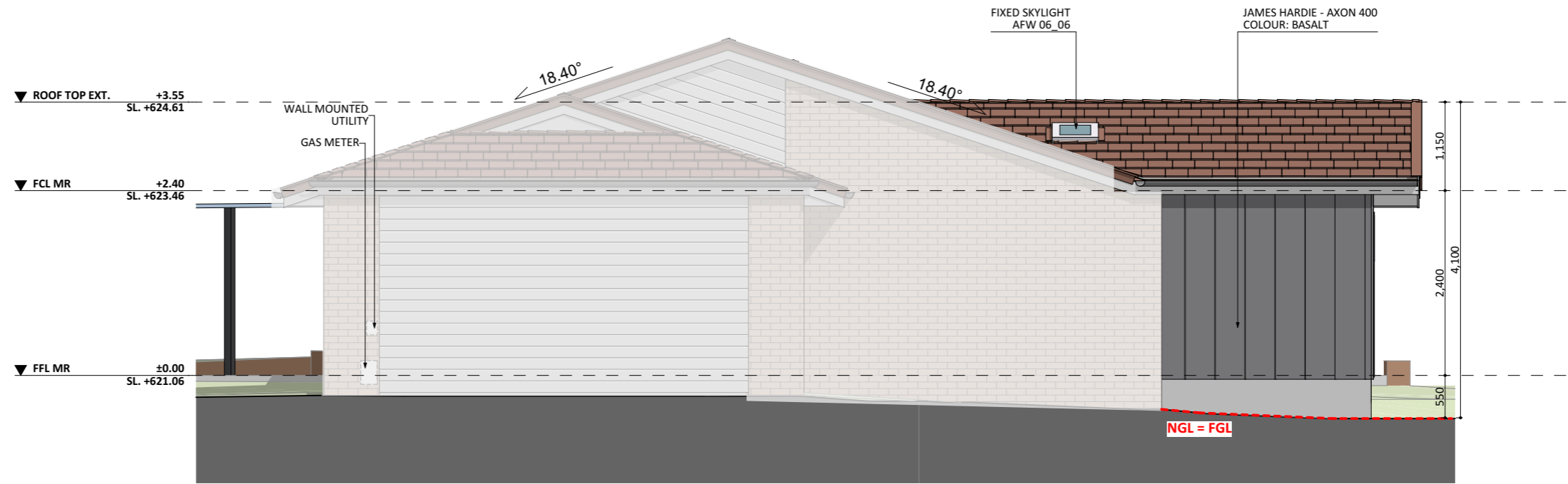
PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m <sup>2</sup> Proposed Renovation Area - Inside Existing Residence 109.78 m <sup>2</sup> Proposed Roof Area - Class 1 23.44 m <sup>2</sup> <b>Block Area 700.00 m<sup>2</sup></b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m <sup>2</sup> Minimum Private Open Space (Block area x 0.60) 420.00 m <sup>2</sup> Site Coverage (LARGE   max 40%) 272.75 m <sup>2</sup> = 36.10 %	REV	DESIGN PHASE	DATE	DRAWING NAME			
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE		LARGE	P1.2	PROJECT PLANS	31/01/2023	<b>FLOOR PLAN - EXTERIOR WALLS AND EAVES</b>		
					CUSTOMER APPROVAL			DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER	
								1:80	A3	18		
								NAME	SIGNATURE	DATE		



PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m2 Proposed Renovation Area - Inside Existing Residence 109.78 m2 Proposed Roof Area - Class 1 23.44 m2 <b>Block Area 700.00 m2</b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2 Minimum Private Open Space (Block area x 0.60) 420.00 m2 Site Coverage (LARGE   max 40%) 272.75 m2 = 36.10 %	REV P1.2 DESIGN PHASE PROJECT PLANS DATE 31/01/2023	DRAWING NAME				
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE LARGE		CUSTOMER APPROVAL			ELEVATIONS 1		
					NAME	SIGNATURE	DATE	DRAWING SCALE 1:70, 1:120	SHEET SIZE A3	DRAWING NUMBER 19	CHECKLIST NUMBER



**NORTH-WEST ELEV. - MR**



**SOUTH-WEST ELEV. - MR**



**PROJECT DETAILS**  
 Customer Name: Shellie Flatt  
 Project Address: 20 Huxley Place, Palmerston ACT 2913  
 Block No 13  
 Section No 162

**AREAS**  
 Proposed Extension GFA 65.63 m2  
 Proposed Roof Area 79.72 m2  
 Block Area 848.00 m2  
 Actual Block Ratio 20.19 %  
 Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 587.20 m2  
 Minimum Private Open Space [(Block area x 0.60) - 50] 458.80 m2

REV	DESIGN PHASE	DATE
CO.0	CONCEPT DESIGN	31/01/2023

**DRAWING NAME**  
**ELEVATIONS 2**

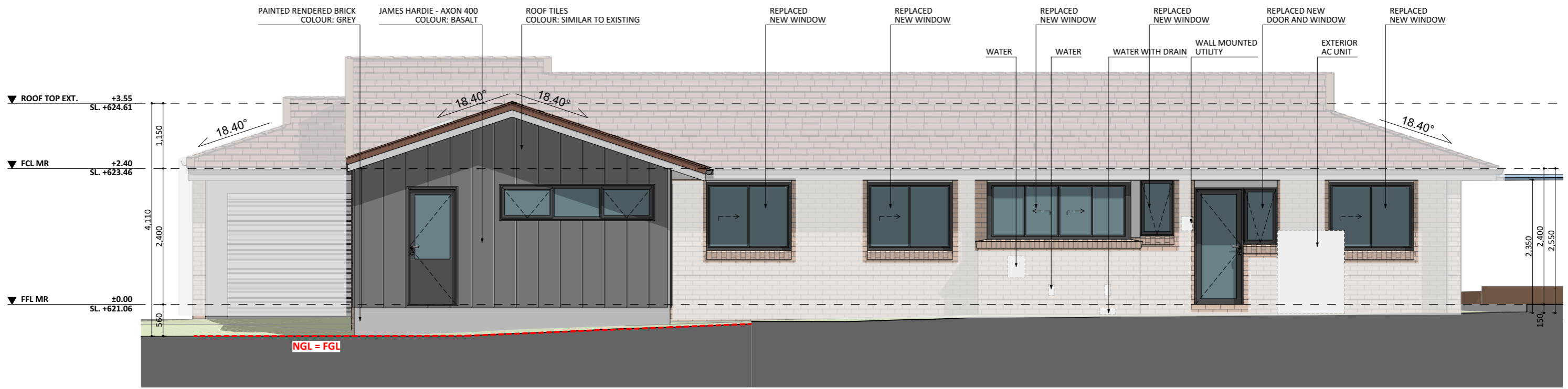
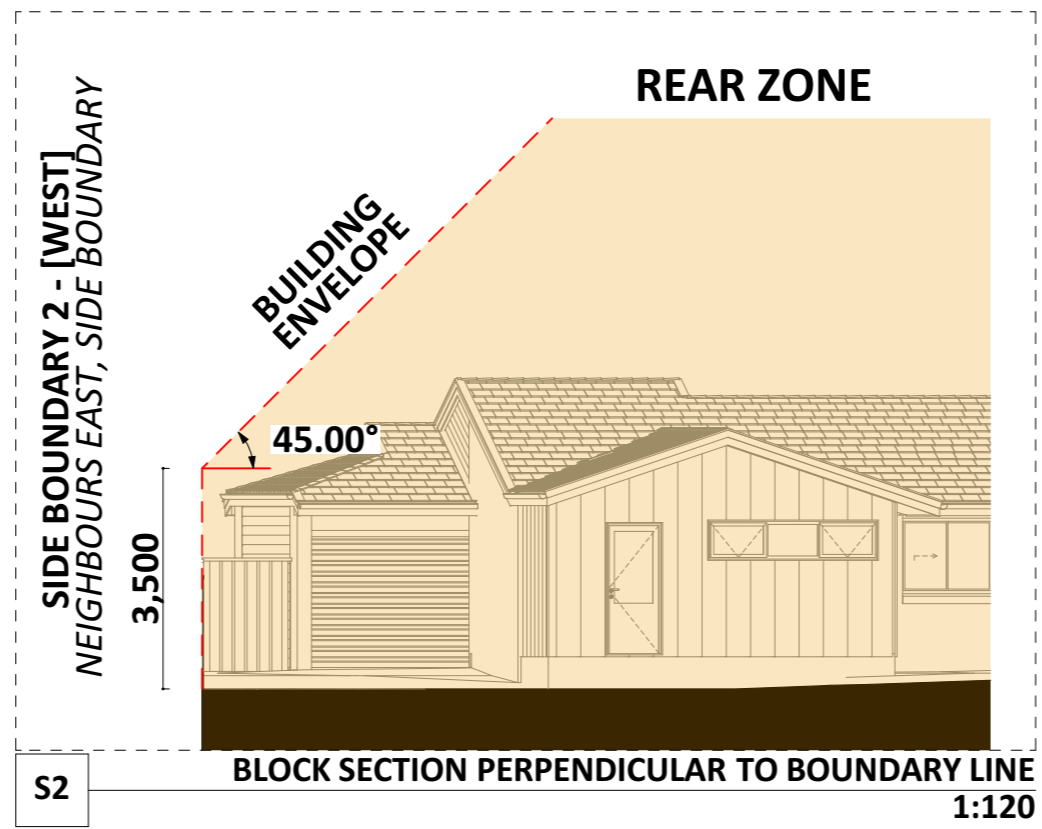
**CUSTOMER APPROVAL**

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:70	A3	20	0000

**PROJECT TYPE**  
 FIXED PRICE EXTENSIONS

ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
Z.E.	----	v.17	LARGE



SOUTH-EAST ELEV.- MR



**PROJECT DETAILS**  
 Customer Name: Shellie Flatt  
 Project Address: 20 Huxley Place, Palmerston ACT 2913  
 Block No 13  
 Section No 162

AREAS	
Proposed Extension GFA	65.63 m2
Proposed Roof Area	79.72 m2
Block Area	848.00 m2
Actual Block Ratio	20.19 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	587.20 m2
Minimum Private Open Space [(Block area x 0.60) - 50]	458.80 m2

REV	DESIGN PHASE	DATE
CO.0	CONCEPT DESIGN	31/01/2023

**DRAWING NAME**  
 ELEVATIONS 3

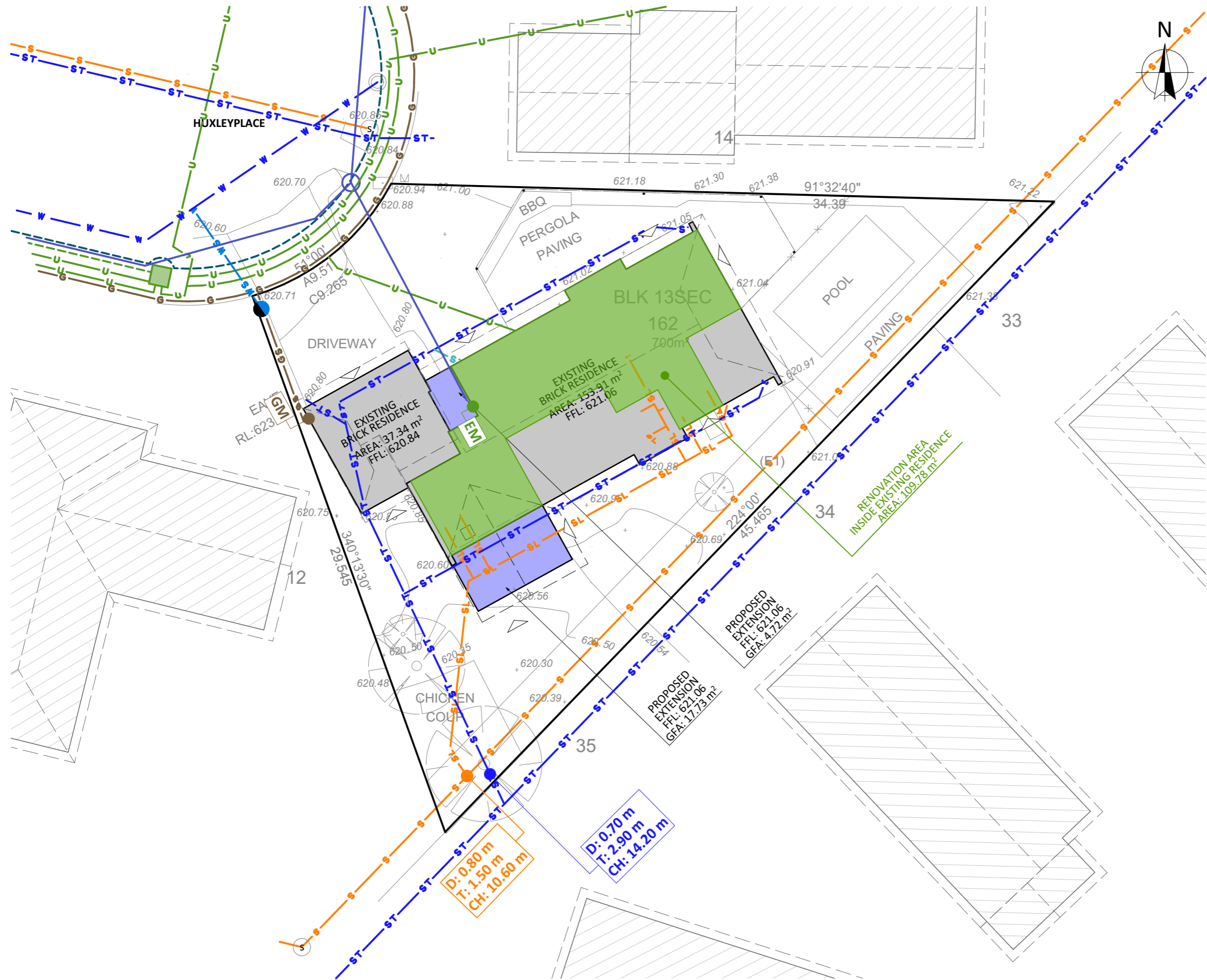
CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:70, 1:120	A3	21	0000

PROJECT TYPE  
 FIXED PRICE EXTENSIONS

ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
Z.E.	----	v.17	LARGE

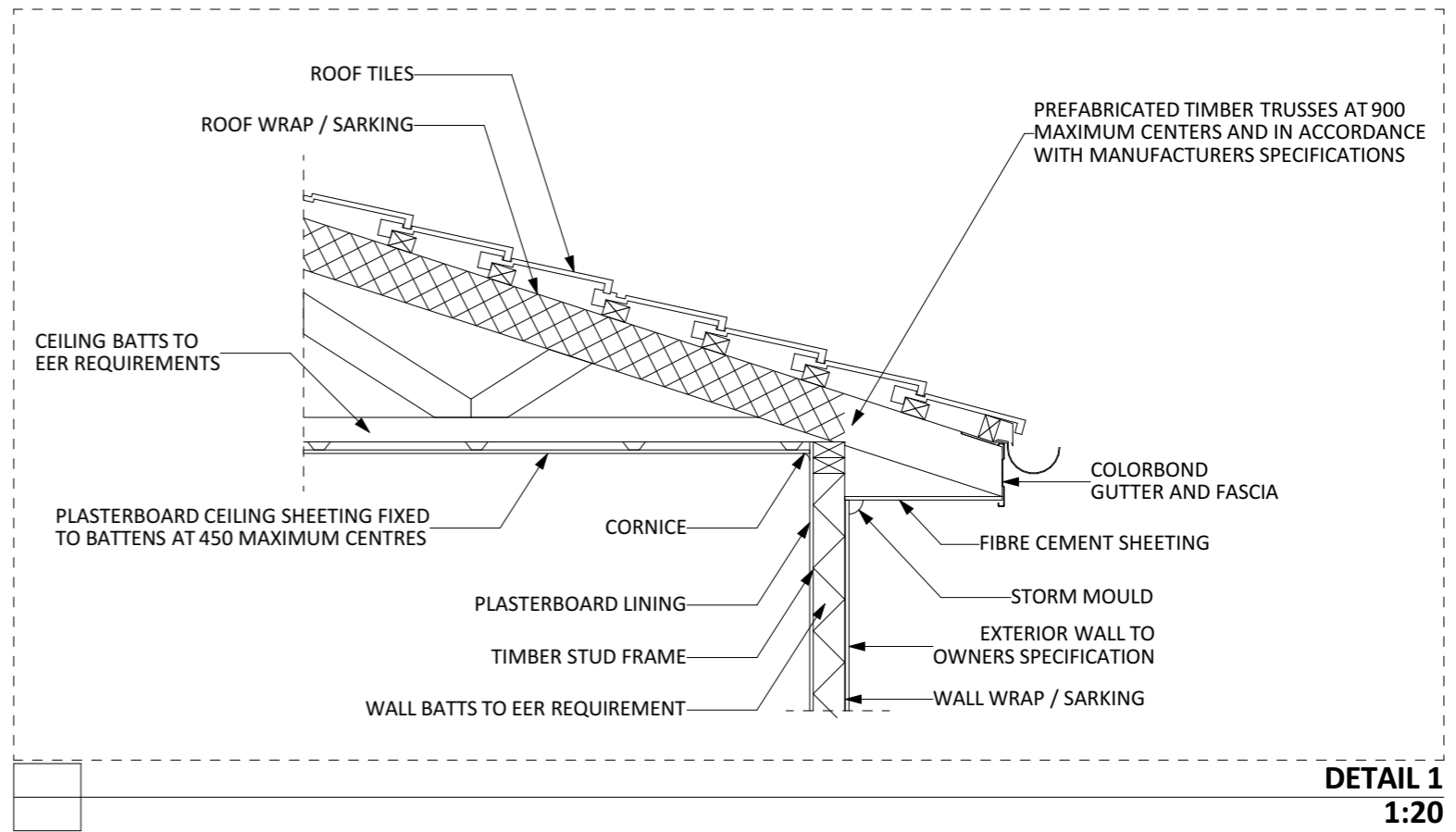
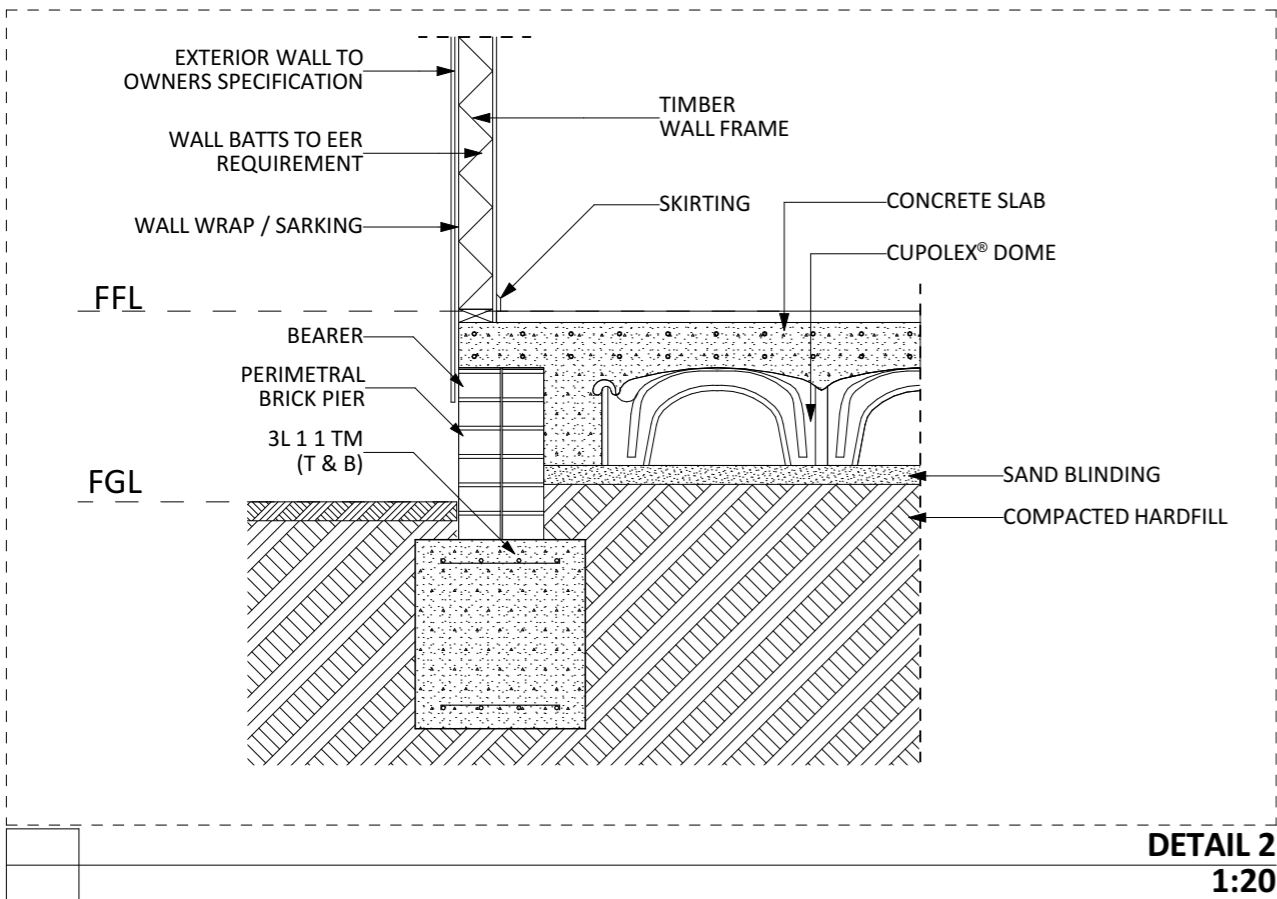
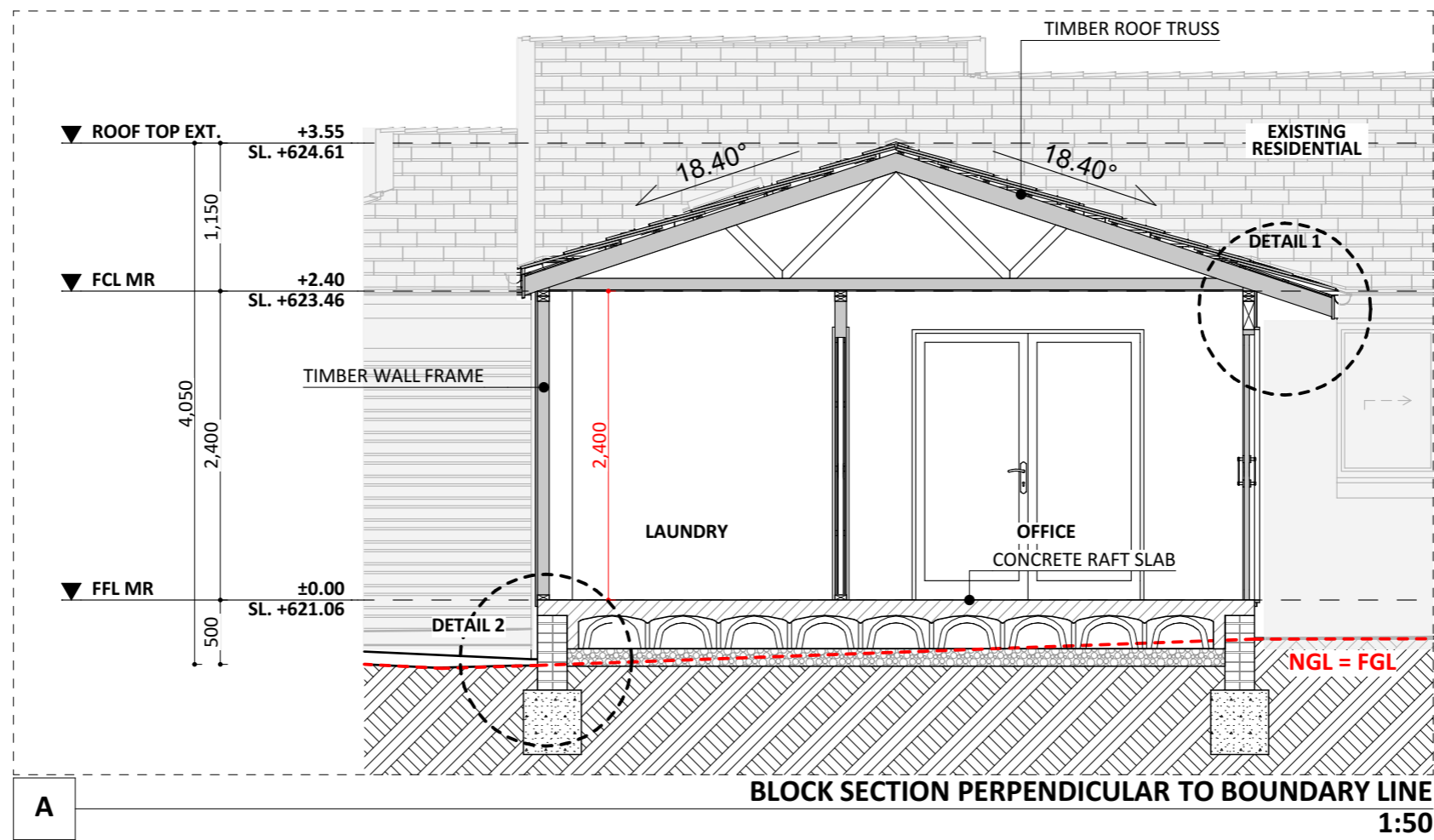


- ELECTRICITY NETWORK LEGEND**
- ES Overhead Service Line, In Service
  - U Underground Service Line, In Service
  - - - - - Underground Service Line, Abandoned
  - E Overhead LV Electric Line
  - - - - - Underground LV Electric Line, In Service
  - E Overhead HV Electric Line
  - - - - - Underground HV Electric Line, In Service
  - EM Electricity Meter
  - Service Point
  - Ground Mounted Structure
- GAS NETWORK LEGEND**
- G Distribution Main, PE, In Service
  - GS Connection to Distribution Main
  - GM Gas Meter
- SEWER NETWORK LEGEND**
- S Reticulation Main
  - s Trunk Main
  - SL Property Service Line
  - ST Stormwater
  - Service Connection
- WATER NETWORK LEGEND**
- W Distribution Main
  - W Reticulation Main
  - WS Domestic Service
  - Billing Small Diameter
  - Spryng Hydrant
  - ⌘ Isolation
- TELECOMMUNICATION NETWORK LEGEND**
- NBN Trench INSERVICE / CONSTRUCTED with underground Telstra cable
  - ▲ Telstra and Unidentified - Aerial cable
  - TransACT Duct
  - Optus cable in Other Utility conduit
  - - - - - Nextgen Group Cable and 3rd Part Duct
- STREETLIGHT NETWORK LEGEND**
- - - - - Underground Cable
  - ▲ Overhead Cable
  - ☀ Light Pole

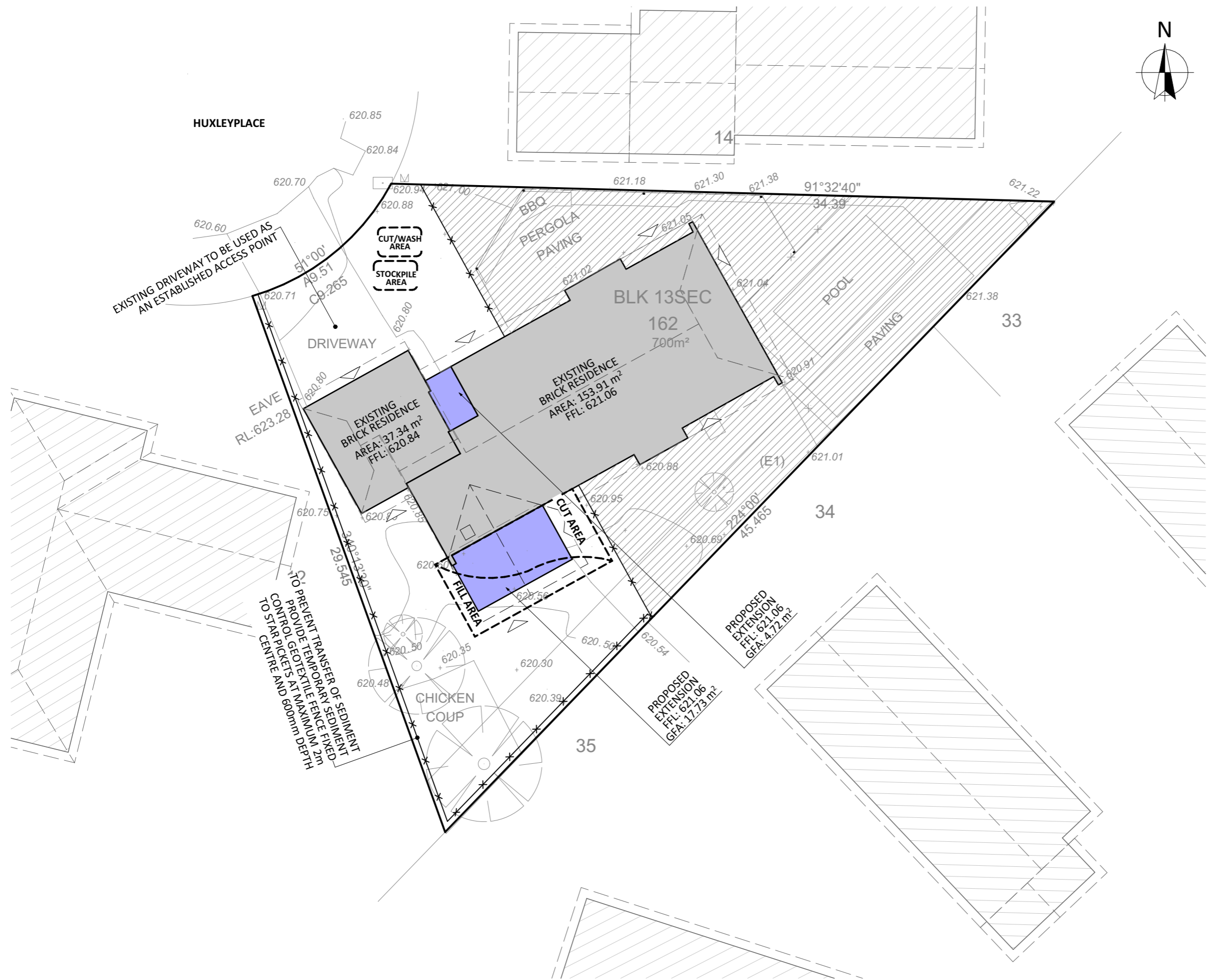
**NOTE:**  
 - Source: Survey  
 - Date of Surveyor visit: 02/02/2022

**UNDERGROUND SERVICES HAVE NOT BEEN LOCATED, THEIR REPRESENTATION IS ESTIMATED, BASED ON BUILDING FILE SEARCH AND DIAL BEFORE YOU DIG DOCUMENTS**

<b>PROJECT DETAILS</b>					Proposed Structure GFA - Single Storey - Class 1 22.45 m <sup>2</sup> Proposed Renovation Area - Inside Existing Residence 109.78 m <sup>2</sup> Proposed Roof Area - Class 1 23.44 m <sup>2</sup> <b>Block Area 700.00 m<sup>2</sup></b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m <sup>2</sup> Minimum Private Open Space (Block area x 0.60) 420.00 m <sup>2</sup> Site Coverage (LARGE   max 40%) 272.75 m <sup>2</sup> = 36.10 %	REV P1.2 DESIGN PHASE PROJECT PLANS DATE 31/01/2023	<b>DRAWING NAME</b>				
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE LARGE		<b>SERVICES PLAN</b>			DRAWING SCALE 1:200	SHEET SIZE A3	DRAWING NUMBER 22
					<b>CUSTOMER APPROVAL</b>						
					NAME	SIGNATURE	DATE				



PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m2 Proposed Renovation Area - Inside Existing Residence 109.78 m2 Proposed Roof Area - Class 1 23.44 m2 <b>Block Area 700.00 m2</b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2 Minimum Private Open Space (Block area x 0.60) 420.00 m2 Site Coverage (LARGE   max 40%) 272.75 m2 = 36.10 %	REV	DESIGN PHASE	DATE	DRAWING NAME			
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE		LARGE	P1.2	PROJECT PLANS	31/01/2023	SECTION		
					CUSTOMER APPROVAL			DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER	
								1:50, 1:20	A3	23		
								NAME	SIGNATURE	DATE		



**SITE PLAN LEGEND:**

- Studied Block property line
- Other Property lines and elements
- Trees
- Entrance of Existing structures
- Existing Structures in the vicinity
- Existing Structures on studied block
- Existing Footpath, Driveway, Deck on the block
- Proposed Structure
- Proposed Deck, Stairs, Alfresco, Paths, Water Tank and Driveway
- Sediment control Fence
- Undisturbed Area

**NOTE:**

- Block Type: LARGE
- Source: Survey
- Date of Surveyor visit: 02/02/2022

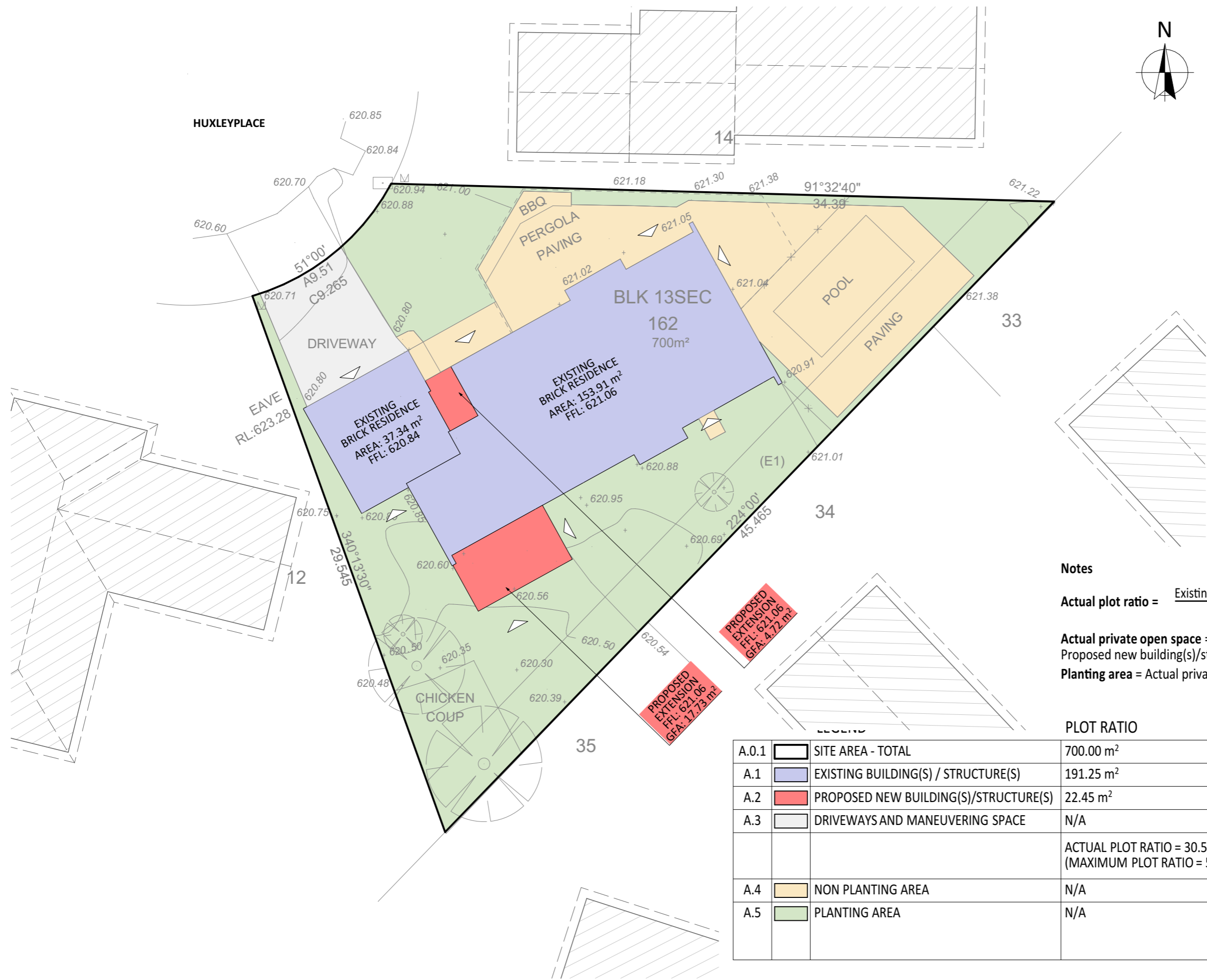
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

PROJECT DETAILS				

Proposed Structure GFA - Single Storey - Class 1	22.45 m2
Proposed Renovation Area - Inside Existing Residence	109.78 m2
Proposed Roof Area - Class 1	23.44 m2
<b>Block Area</b>	<b>700.00 m2</b>
Actual Block Ratio	30.52 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m2
Minimum Private Open Space (Block area x 0.60)	420.00 m2
Site Coverage (LARGE   max 40%)	272.75 m2 = 36.10 %

REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
<b>EROSION AND SEDIMENT CONTROL PLAN</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:200	A3	24	



**Notes**

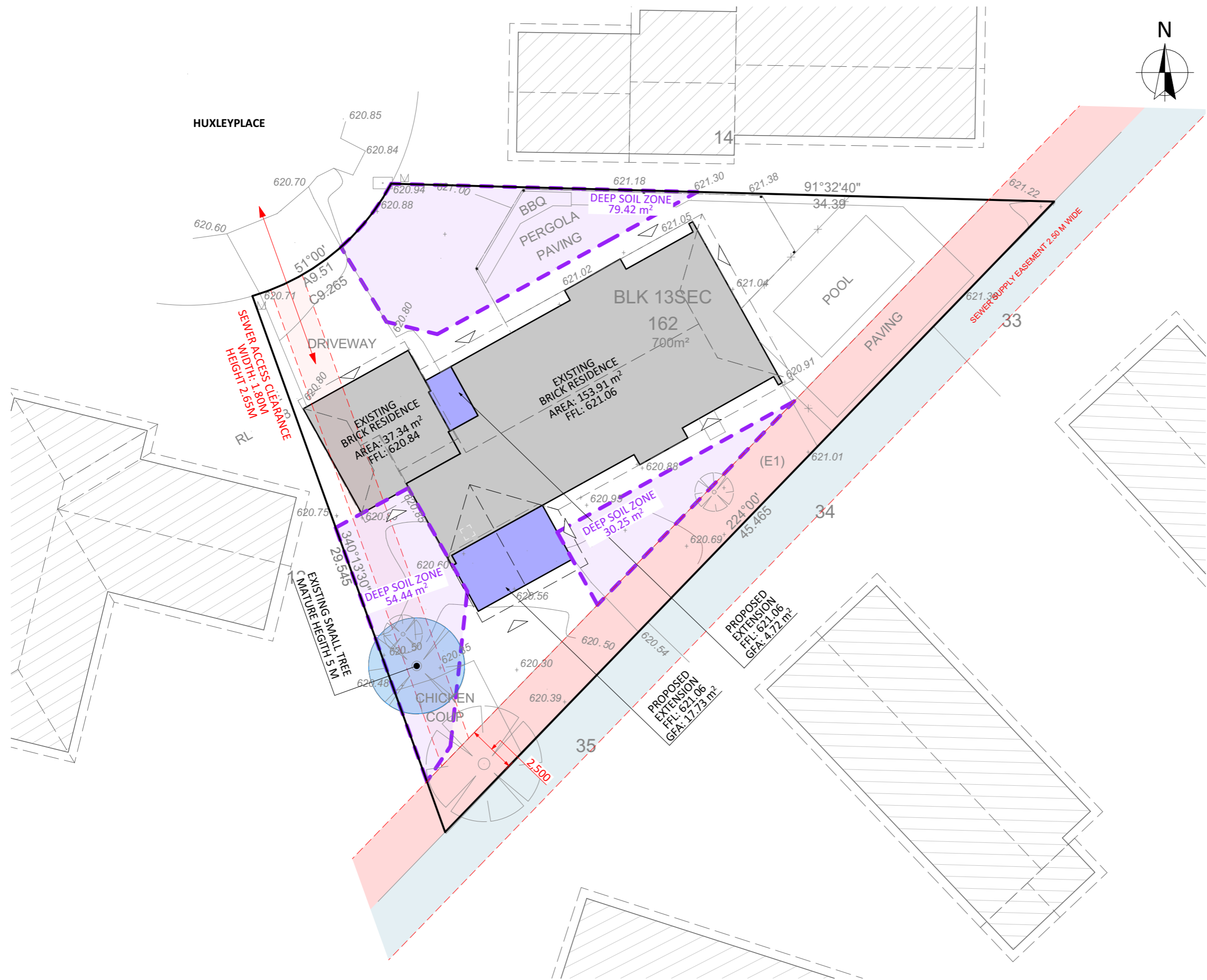
**Actual plot ratio =**  $\frac{\text{Existing building(s)/structure(s)} + \text{Proposed new building(s)/structures}}{\text{Site area}} \times 100$

**Actual private open space =** Site area - (Existing building(s)/structure(s) + Proposed new building(s)/structure(s) + Driveways and maneuvering space)

**Planting area =** Actual private open space - Non planting area

		PLOT RATIO	PRIVATE OPEN SPACE	
A.0.1	SITE AREA - TOTAL	700.00 m <sup>2</sup>	700.00 m <sup>2</sup>	
A.1	EXISTING BUILDING(S) / STRUCTURE(S)	191.25 m <sup>2</sup>	191.25 m <sup>2</sup>	
A.2	PROPOSED NEW BUILDING(S)/STRUCTURE(S)	22.45 m <sup>2</sup>	22.45 m <sup>2</sup>	
A.3	DRIVEWAYS AND MANEUVERING SPACE	N/A	33.17 m <sup>2</sup>	
		ACTUAL PLOT RATIO = 30.52% (MAXIMUM PLOT RATIO = 50%)	ACTUAL PRIVATE OPEN SPACE = 453.13 m <sup>2</sup> (MINIMUM POS = (SITE AREA X 60%) = 420.00 m <sup>2</sup> )	
A.4	NON PLANTING AREA	N/A	150.32 m <sup>2</sup>	
A.5	PLANTING AREA	N/A	ACTUAL PLANTING AREA:	302.81 m <sup>2</sup> 43.25 %
			MINIMUM PLANTING AREA (SITE AREA x 30%):	210.00 m <sup>2</sup> 30%

<b>PROJECT DETAILS</b>					Proposed Structure GFA - Single Storey - Class 1 22.45 m <sup>2</sup> Proposed Renovation Area - Inside Existing Residence 109.78 m <sup>2</sup> Proposed Roof Area - Class 1 23.44 m <sup>2</sup> <b>Block Area 700.00 m<sup>2</sup></b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m <sup>2</sup> Minimum Private Open Space (Block area x 0.60) 420.00 m <sup>2</sup> Site Coverage (LARGE   max 40%) 272.75 m <sup>2</sup> = 36.10 %	REV	DESIGN PHASE	DATE	DRAWING NAME			
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE		P1.2	PROJECT PLANS	31/01/2023	<b>AREA PLAN</b>			
					CUSTOMER APPROVAL			DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER	
					NAME	SIGNATURE	DATE	<b>1:200</b>	<b>A3</b>	<b>25</b>		



**SITE PLAN LEGEND:**

- Studied Block property line
- Other Property lines and elements
- Trees
- Entrance of Existing structures
- Existing Structures in the vicinity
- Existing Structures on studied block
- Proposed Structure
- Proposed Deck, Stairs, Alfresco, Paths, Water Tank and Driveway

**TREE PLANTING**

- Small Tree  
Height: 5-8m / Min. Canopy: 4m
- Medium Tree  
Height: 8-12m / Min. Canopy: 6m
- Large Tree  
Height: >12m / Min. Canopy: 8m
- Deep Soil Zones

Block Type	Minimum tree requirement
LARGE, > 800 m <sup>2</sup>	one large and one medium, plus one large or two medium for each additional 800 m <sup>2</sup>
LARGE, <= 800 m <sup>2</sup>	one small and one medium
MID-SIZED	two small
COMPACT	one small

**EASEMENT LEGEND:**

- Easement maintenance access
- Stormwater easement | width: 2.44 or 2.50m
- Sewer easement | width: 2.44 or 2.50 m  
Sewer Pipe Protection Envelope | 3.00 or 3.20m from boundary line
- Electrical easement | width: 1.50 or 2.50m
- Stormwater and Electrical easement
- Sewer and Electrical easement
- Stormwater and Sewer easement
- Gas easement
- Right of Way easement
- Telecommunications easement
- Water easement

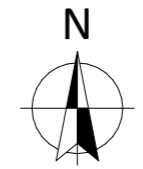
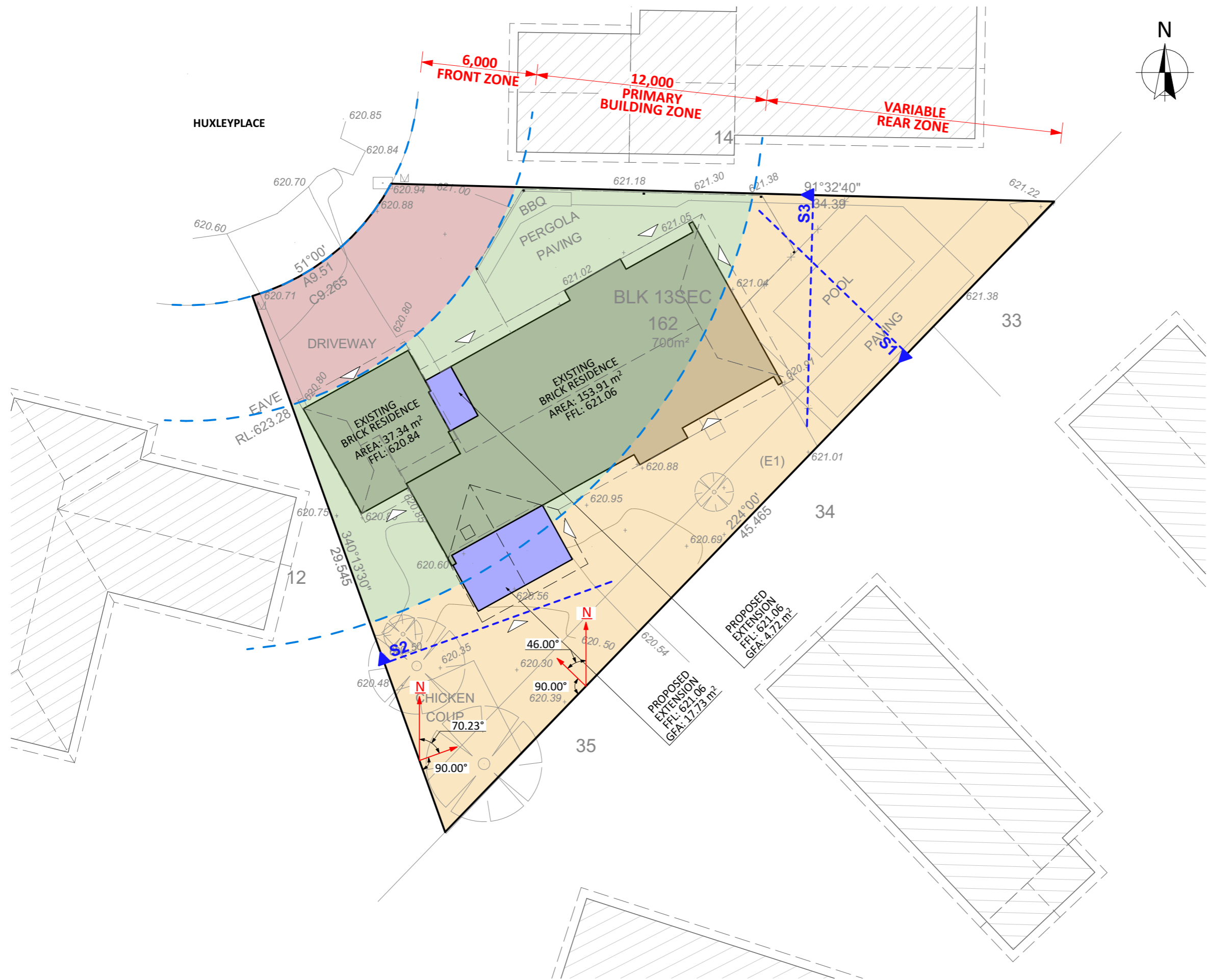
**NOTE:**  
 - Block Type: LARGE  
 - Source: Survey  
 - Date of Surveyor visit: 02/02/2022

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

PROJECT DETAILS				
Proposed Structure GFA - Single Storey - Class 1	22.45 m <sup>2</sup>	REV	DESIGN PHASE	DATE
Proposed Renovation Area - Inside Existing Residence	109.78 m <sup>2</sup>	P1.2	PROJECT PLANS	31/01/2023
Proposed Roof Area - Class 1	23.44 m <sup>2</sup>	CUSTOMER APPROVAL		
<b>Block Area</b>	<b>700.00 m<sup>2</sup></b>	NAME	SIGNATURE	DATE
Actual Block Ratio	30.52 %			
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m <sup>2</sup>			
Minimum Private Open Space (Block area x 0.60)	420.00 m <sup>2</sup>			
Site Coverage (LARGE   max 40%)	272.75 m <sup>2</sup> = 36.10 %			

DRAWING NAME	LIVING INFRASTRUCUTRE PLAN		
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:200	A3	26	

Proposed Extension (E1)	45.465 m <sup>2</sup>
Proposed Extension	17.73 m <sup>2</sup>
Proposed Extension	4.72 m <sup>2</sup>



**NOTES:**

- Front Zone**
  - The Front Zone is usually the area between the Front Boundary and the Building Line. The Building Line can be determined using the rule below
  - If the minimum setback requirement is greater than the distance to the building line, then it is this distance that will determine the Front Zone. This is rare. Typically, the minimum setback from the front boundary is 6m
  - The Front Zone can also not have a length greater than 10 metres into the block. Again this is rare.
- Building Line**
  - This is a line drawn parallel to the front boundary along the front face of a building, or through the point on the building which is closest to the front boundary.
  - A terrace, landing, porch, balcony, deck or verandah that is more than 1.5 metres above finished ground level or is covered by a roof is deemed to be part of the building. A fence, courtyard wall or retaining wall is not deemed to be part of the building.
- Primary Building Zone**
  - The area between the front zone and a line projected 12 metres from this zone.
- Rear zone**
  - The area of the block behind the Primary Building Zone
- Perpendicular line from boundaries**
  - A line drawn at a right angle (90 degrees) from the boundary
  - This does not need to be completed if there is no adjoining residential block
- Line with a bearing of North**
  - A line drawn that goes directly North
  - This should be drawn from the same point that the Perpendicular line from the Boundary is drawn
  - This does not need to be completed if there is no adjoining residential block
- Angle between the Line with a Bearing of North and Perpendicular Line from Boundary**
  - The angle measured between these two lines
  - This angle should always be less than 180 degrees

**LEGEND**

- | SYMBOL | DESCRIPTION  |
|--------|--|
|        | BUILDING LINE  |
|        | PLOT PROFILE LINE FOR SOLAR AND BUILDING ENVELOPE. PERPENDICULAR TO THE RELEVANT BOUNDARY LINE |
|        | FRONT ZONE   |
|        | PRIMARY BUILDING ZONE  |
|        | REAR ZONE  |
|        | LINE WITH A BEARING OF NORTH TO ESTABLISH SOLAR BOUNDARY ENVELOPE                              |

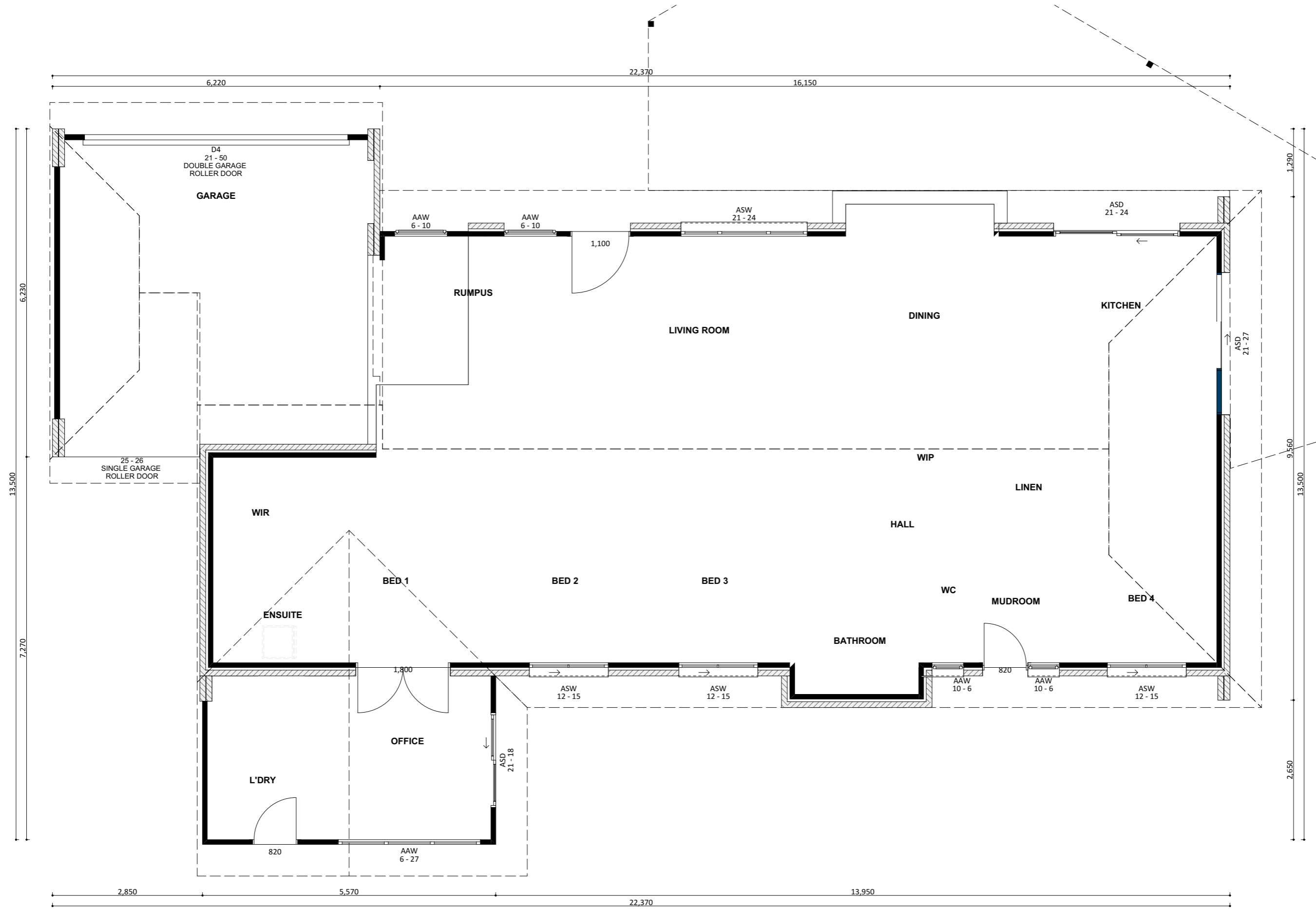
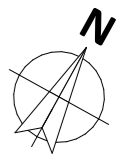
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

PROJECT DETAILS				

Proposed Structure GFA - Single Storey - Class 1	22.45 m2
Proposed Renovation Area - Inside Existing Residence	109.78 m2
Proposed Roof Area - Class 1	23.44 m2
<b>Block Area</b>	<b>700.00 m2</b>
Actual Block Ratio	30.52 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m2
Minimum Private Open Space (Block area x 0.60)	420.00 m2
Site Coverage (LARGE   max 40%)	272.75 m2 = 36.10 %

REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
<b>BUILDING ZONE</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:200	A3	27	



**PROJECT DETAILS**

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

Proposed Structure GFA - Single Storey - Class 1	22.45 m2
Proposed Renovation Area - Inside Existing Residence	109.78 m2
Proposed Roof Area - Class 1	23.44 m2
<b>Block Area</b>	<b>700.00 m2</b>
Actual Block Ratio	30.52 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m2
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REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
<b>PUBLIC REGISTER</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	28	

**NOTES:**  
**BUILDING ENVELOPE**

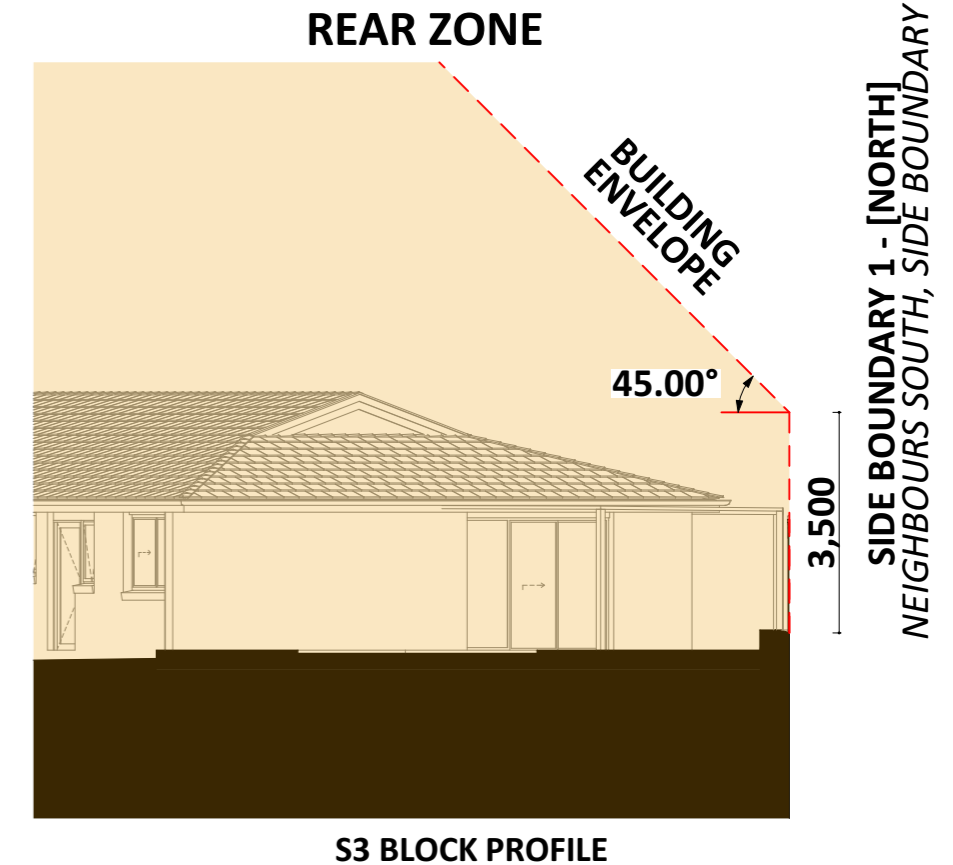
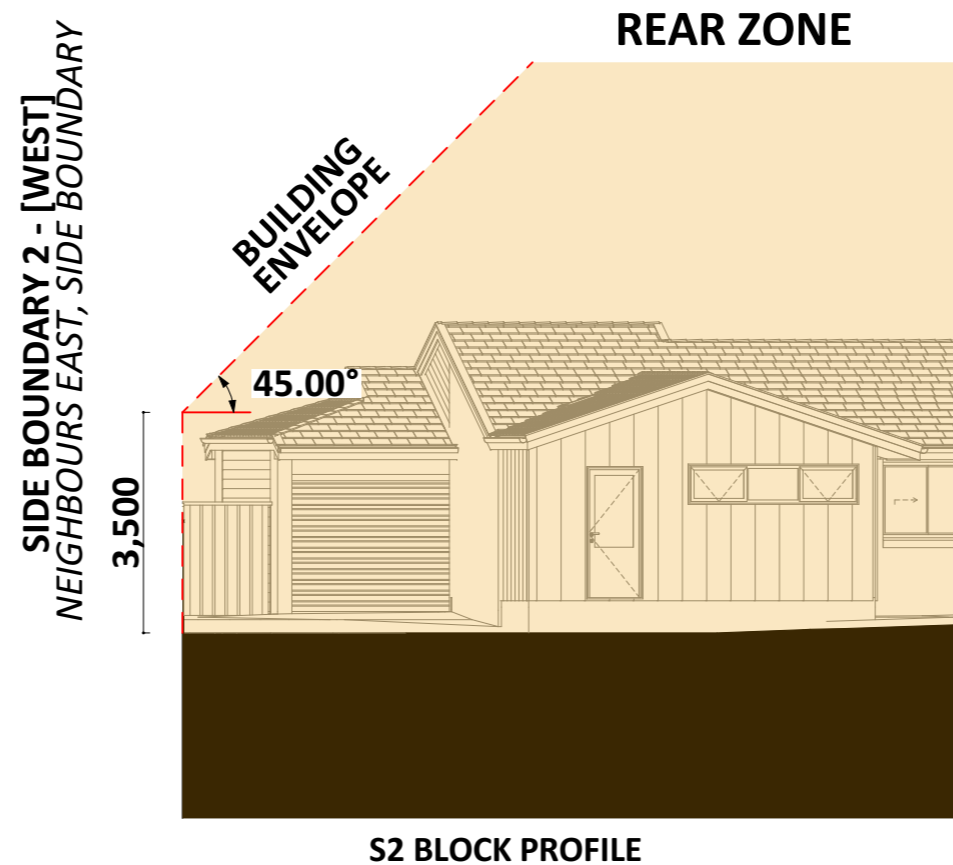
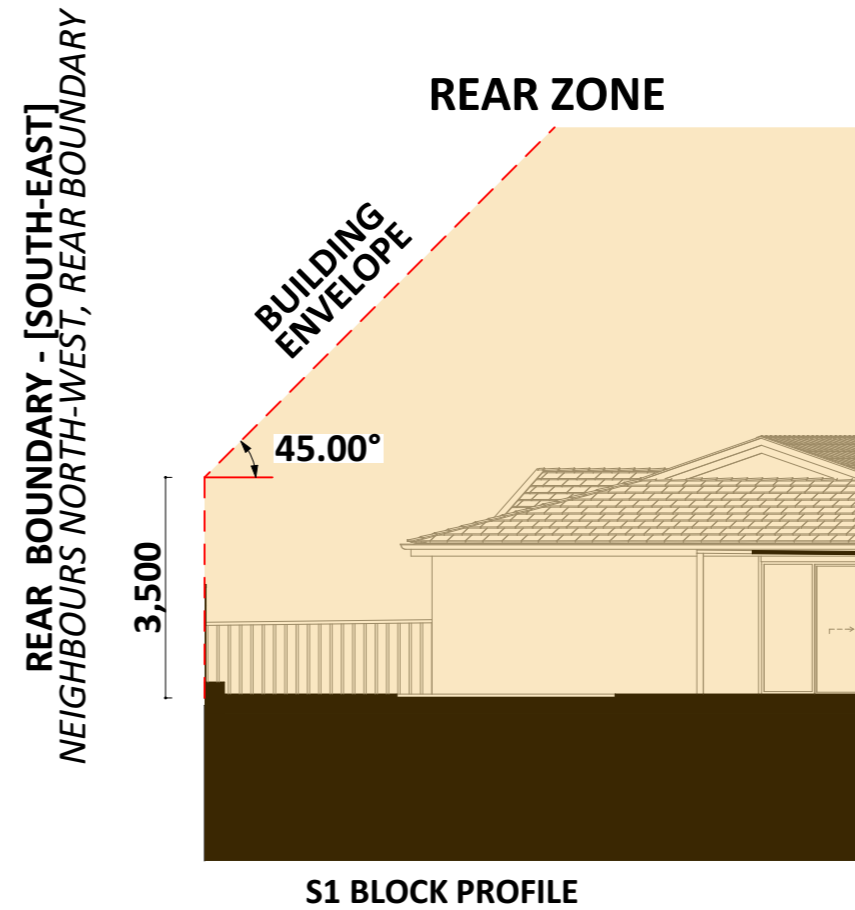
- ▶ **Large Blocks** (Greater than 500m<sup>2</sup>)
  - This rule applies to side and rear boundaries
  - Building Envelope Fence Height - 3.5 m
  - Angle of projection from Building Envelope Fence - 45 Degrees
- ▶ **Mid-Sized Blocks Approved after 5 July 2013** (250 m<sup>2</sup> to 500m<sup>2</sup>)
  - This rule applies to side and rear boundaries
  - Building Envelope Fence Height - 3.5 m
  - Angle of projection from Building Envelope Fence - 45 Degrees
- ▶ **Mid-Sized Blocks Approved before 5 July 2013** (250 m<sup>2</sup> to 500m<sup>2</sup>)
  - For North Facing Boundaries of Adjoining Residential Blocks (see below definition)
    - Building Envelope Fence Height
      - Primary Building Zone - 2m
      - Rear Zone - 2m
    - Angle of Projection from Building Envelope Fence
      - Primary Building Zone - 45 Degrees
      - Rear Zone - 30 Degrees
  - Note: if we are building on the boundary there can be different rules. Consult with Plannin Approvals Manager
  - For all other boundaries of adjoining residential blocks
    - Building Envelope Fence Height
      - Primary Building Zone - 4.5m
      - Rear Zone - 3.5m
    - Angle of Projection from Building Envelope Fence
      - Primary Building Zone - 45 Degrees
      - Rear Zone - 30 Degrees
  - For this rule: North Facing Boundary means a boundary of a block where a line drawn perpendicular to the boundary outwards is orientated between 30 degrees east of north and 20 degrees west of north. This is only for Mid-Sized Blocks Approved before the 5 July 2013

**SOLAR BUILDING ENVELOPE**

- ▶ **Large Blocks if Approved before 5 July 2013**
  - The Solar Building Envelope Rule applies to any Northern Boundary of an adjoining residential block.
  - Height of the Solar Fence is:
    - In the Front and Primary Building Zone - 2.4m
    - On all other parts of the boundary - 1.8m
- ▶ **All Blocks if Approved after 5 July 2013**
  - The Solar Building Envelope Rule applies to any Northern Boundary of an adjoining residential block.
  - Height of the Solar Fence is:
    - In the Front and Primary Building Zone - 3m
    - On all other parts of the boundary - 2.3m

**Table 1 – Apparent sun angle (X) at noon on the winter solstice (21 June)**

Aspect of northern boundary (bearing of line drawn perpendicular to the boundary)	Angle (X)
North 0° to <10° East	31°
North 0° to <10° West	31°
North 10° to <20° East	32°
North 10° to <20° West	32°
North 20° to <30° East	34°
North 20° to <30° West	34°
North 30° to <40° East	36°
North 30° to <40° West	36°
North 40° to 45° East	39°
North 40° to 45° West	39°



PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m2 Proposed Renovation Area - Inside Existing Residence 109.78 m2 Proposed Roof Area - Class 1 23.44 m2 <b>Block Area 700.00 m2</b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2 Minimum Private Open Space (Block area x 0.60) 420.00 m2 Site Coverage (LARGE   max 40%) 272.75 m2 = 36.10 %	REV P1.2	DESIGN PHASE PROJECT PLANS	DATE 31/01/2023	DRAWING NAME <b>SOLAR AND BUILDING ENVELOPE</b>			
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE LARGE		CUSTOMER APPROVAL			DRAWING SCALE 1:120	SHEET SIZE A3	DRAWING NUMBER 29	CHECKLIST NUMBER
					NAME                      SIGNATURE                      DATE							



Sun-Winter - Jun 21 - 9:00 AM



Sun-Winter - Jun 21 - 12:00 PM noon



Sun-Winter - Jun 21 - 3:00 PM

**LEGEND:**

- THE ROOF AREA OF THE PROPOSED STRUCTURE. IN THE CASE OF AN ATTACHED EXTENSION, THE NEW ROOF CAN OVERLAP WITH THE EXISTING ROOF
- SHADOW OF THE EXISTING STRUCTURES IN THE AREA, AND ON THE CLIENT'S BLOCK
- SHADOW OF A 2.40M HIGH SOLAR FENCE, CAST OUTSIDE OF THE CLIENT'S BLOCK
- SHADOW OF EXISTING STRUCTURES / ROOFS, CAST OUTSIDE OF CLIENT'S BLOCK
- SHADOW OF PROPOSED STRUCTURES / ROOFS, CAST OUTSIDE OF CLIENT'S BLOCK

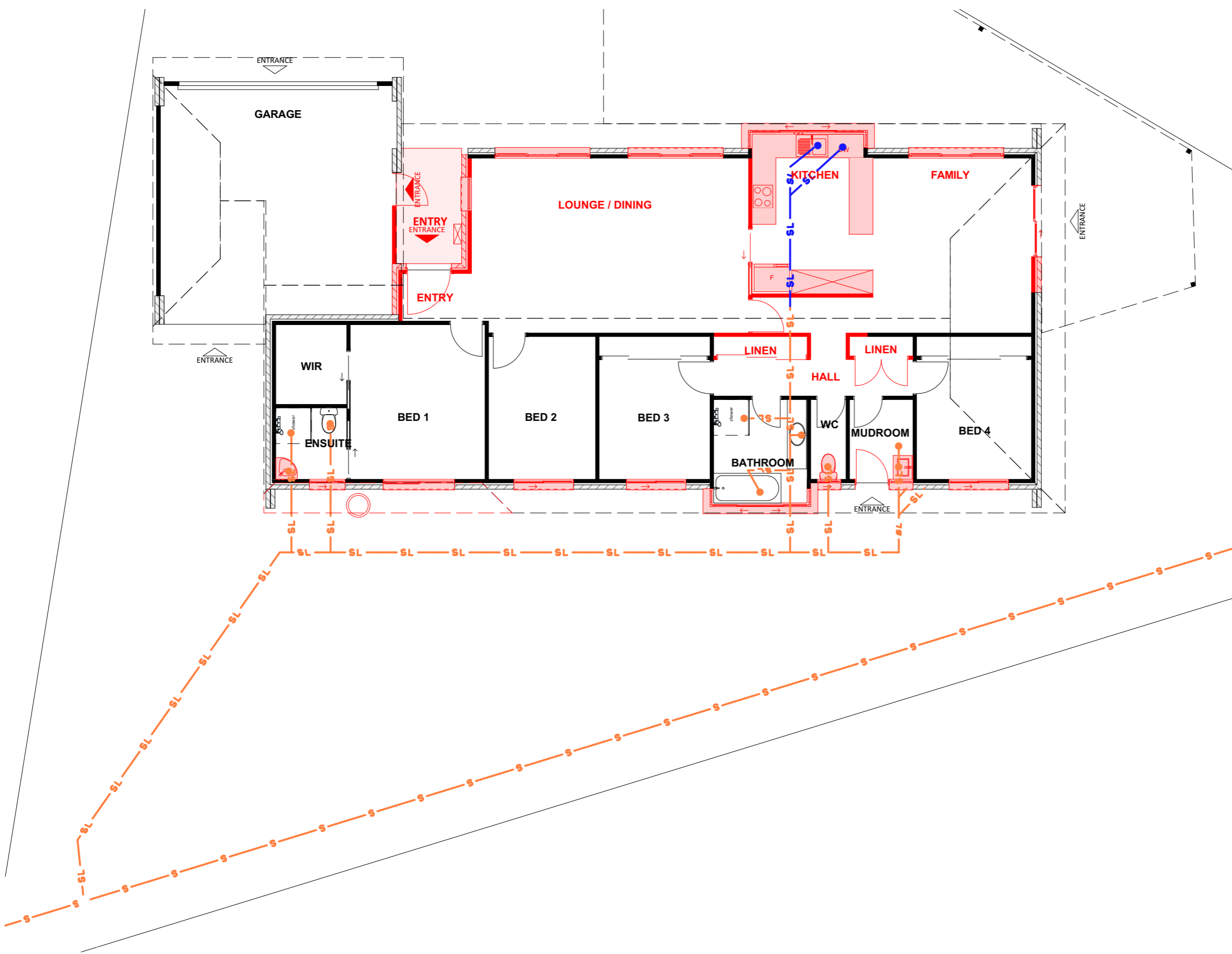
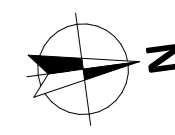
PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1	22.45 m2
Proposed Renovation Area - Inside Existing Residence	109.78 m2
Proposed Roof Area - Class 1	23.44 m2
<b>Block Area</b>	<b>700.00 m2</b>
Actual Block Ratio	30.52 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m2
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REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023
CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
<b>SHADOW DIAGRAM</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	30	

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE



**LEGEND - DRAINAGE SERVICES**

- SL — Existing Service Line
- SL — Decommissioned Service Line
- Sewer Tie

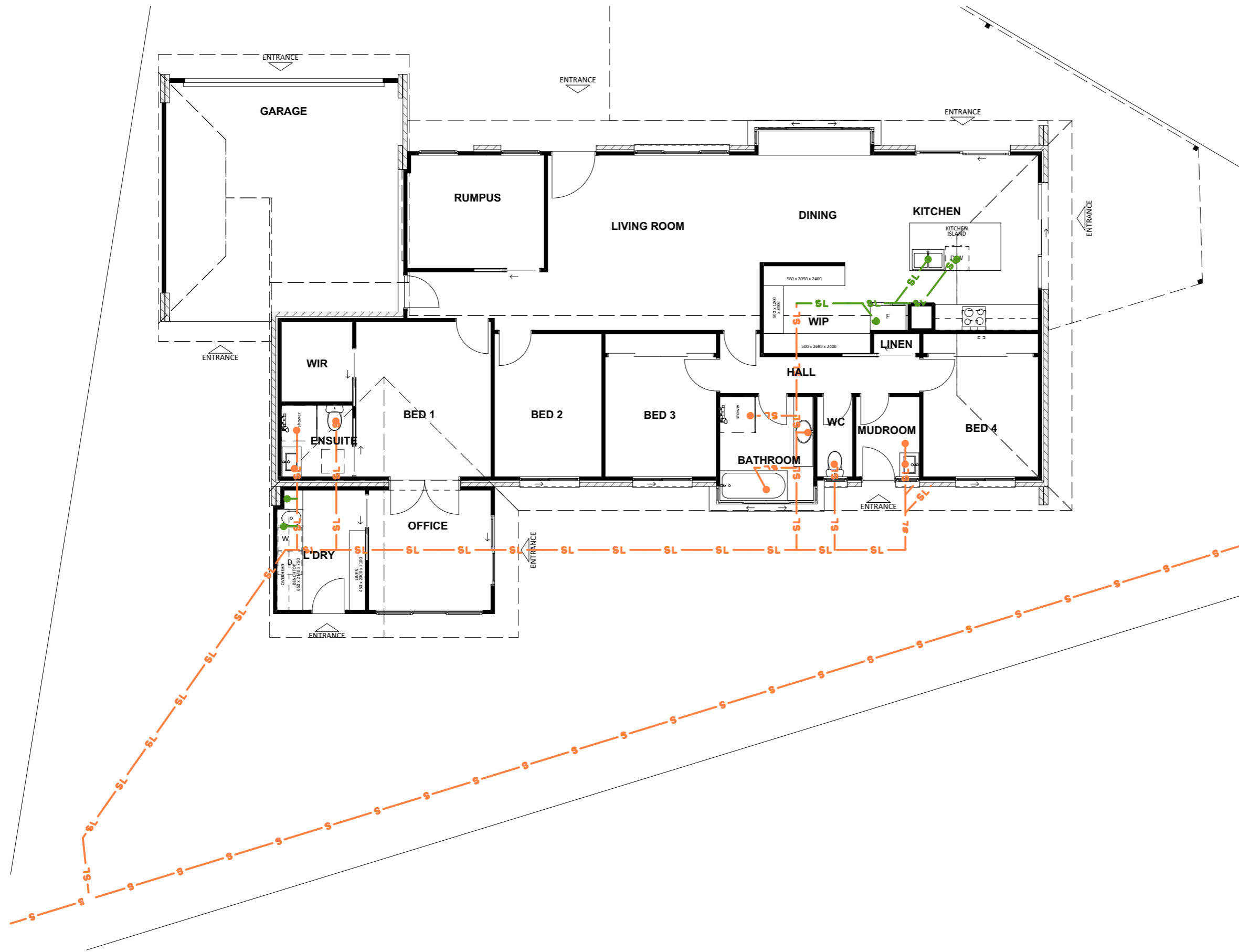
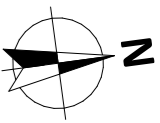
**LEGEND - INTERIOR PLUMBING SERVICES**

- Square Floor Waste
- Round Floor Waste
- Channel Floor Waste

**NOTES:**

- The margin between on site measurements and plans can be up to 10 cm.
- The solution proposed can be altered on-site, if a better solution presents itself, or if there are hidden elements that we were not aware of before.
- Before ordering any materials, builders must check the measurements on-site.
- Underground services have not been located.

<b>PROJECT DETAILS</b>					Proposed Structure GFA - Single Storey - Class 1 22.45 m2 Proposed Renovation Area - Inside Existing Residence 109.78 m2 Proposed Roof Area - Class 1 23.44 m2 <b>Block Area 700.00 m2</b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2 Minimum Private Open Space (Block area x 0.60) 420.00 m2 Site Coverage (LARGE   max 40%) 272.75 m2 = 36.10 %	REV P1.2 DESIGN PHASE PROJECT PLANS DATE 31/01/2023 CUSTOMER APPROVAL	<b>DRAWING NAME</b>		
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE LARGE		NAME SIGNATURE DATE	<b>DRAINAGE PLAN - EXISTING AND DECOMISSION</b>		
					DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER	
					1:100	A3	31		



**LEGEND - DRAINAGE SERVICES**

- SL — Existing Service Line
- SL — New Service Line
- Sewer Tie

**LEGEND - INTERIOR PLUMBING SERVICES**

- Square Floor Waste
- Round Floor Waste
- Channel Floor Waste

**NOTES:**

- The margin between on site measurements and plans can be up to 10 cm.
- The solution proposed can be altered on-site, if a better solution presents itself, or if there are hidden elements that we were not aware of before.
- Before ordering any materials, builders must check the measurements on-site.
- Underground services have not been located.

**PROJECT DETAILS**

<b>PROJECT TYPE</b>	<b>ARCHITECT</b>	<b>DESIGNER</b>	<b>TEMPLATE</b>	<b>BLOCK TYPE</b>
				LARGE

Proposed Structure GFA - Single Storey - Class 1 22.45 m2  
 Proposed Renovation Area - Inside Existing Residence 109.78 m2  
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**Block Area 700.00 m2**  
 Actual Block Ratio 30.52 %  
 Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2  
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 Site Coverage (LARGE | max 40%) 272.75 m2 = 36.10 %

<b>REV</b>	<b>DESIGN PHASE</b>	<b>DATE</b>	<b>DRAWING NAME</b>
P1.2	PROJECT PLANS	31/01/2023	<b>DRAINAGE PLAN - NEW</b>
<b>CUSTOMER APPROVAL</b>			
<b>NAME</b>	<b>SIGNATURE</b>	<b>DATE</b>	<b>CHECKLIST NUMBER</b>

<b>DRAWING SCALE</b>	<b>SHEET SIZE</b>	<b>DRAWING NUMBER</b>	<b>CHECKLIST NUMBER</b>
1:100	A3	32	



PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1 22.45 m2  
 Proposed Renovation Area - Inside Existing Residence 109.78 m2  
 Proposed Roof Area - Class 1 23.44 m2  
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 Site Coverage (LARGE | max 40%) 272.75 m2 = 36.10 %

REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

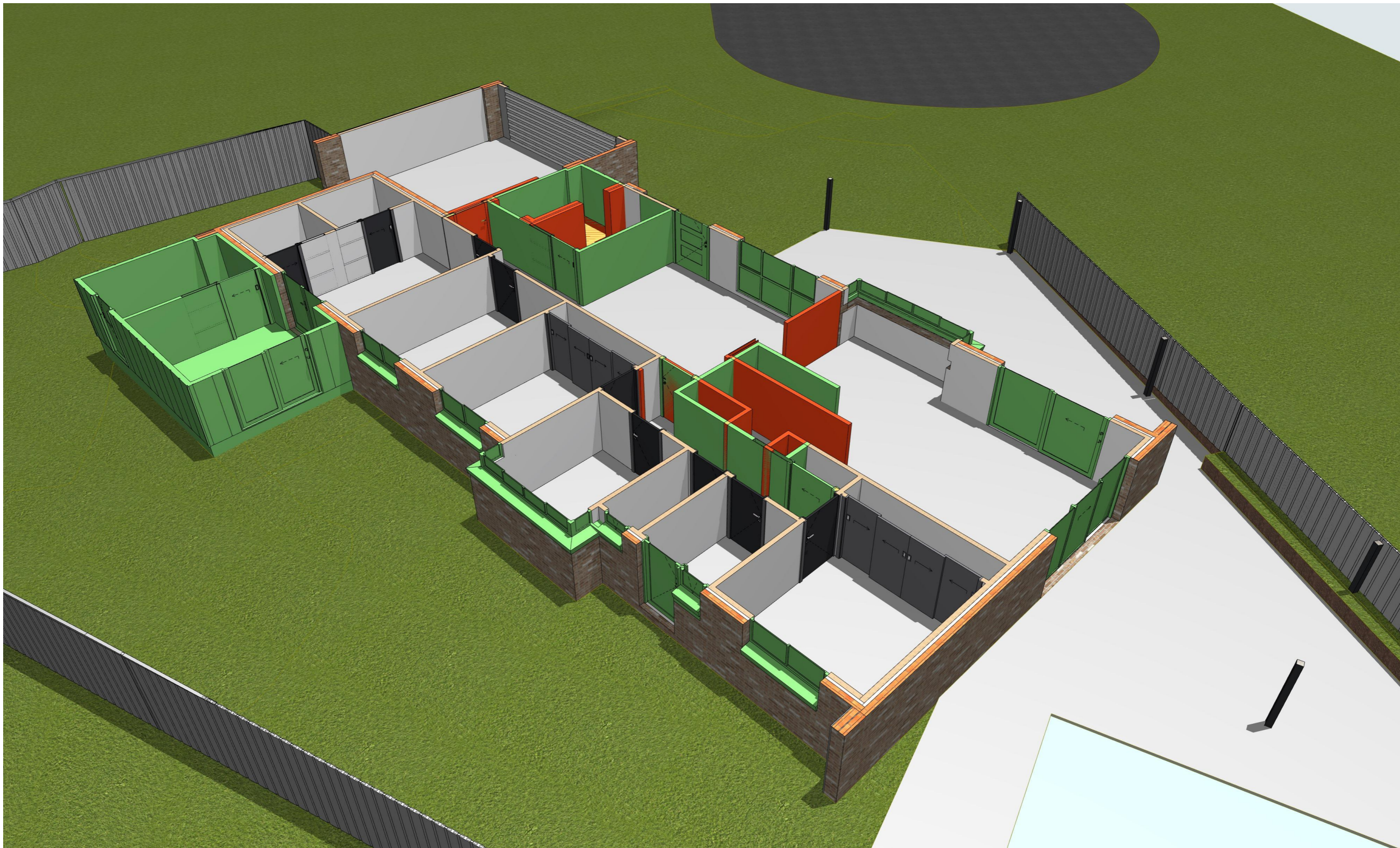
DRAWING NAME  
**3D FLOOR PLAN - DEMOLITION 1**

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	33	

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE



PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1 22.45 m2  
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REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

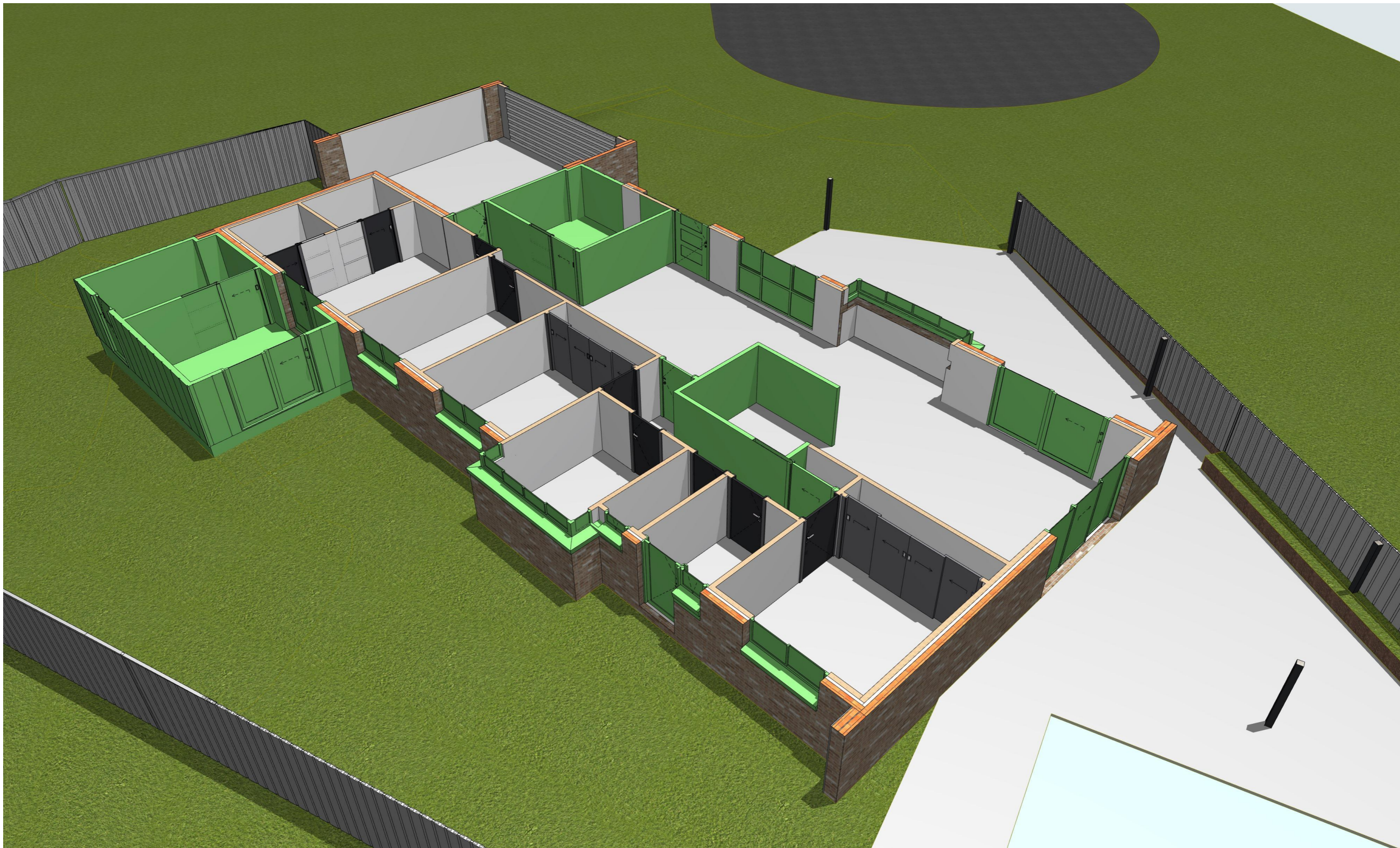
DRAWING NAME  
**3D FLOOR PLAN - DEMOLITION AND NEW 1**

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	34	

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE



PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1 22.45 m2  
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REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

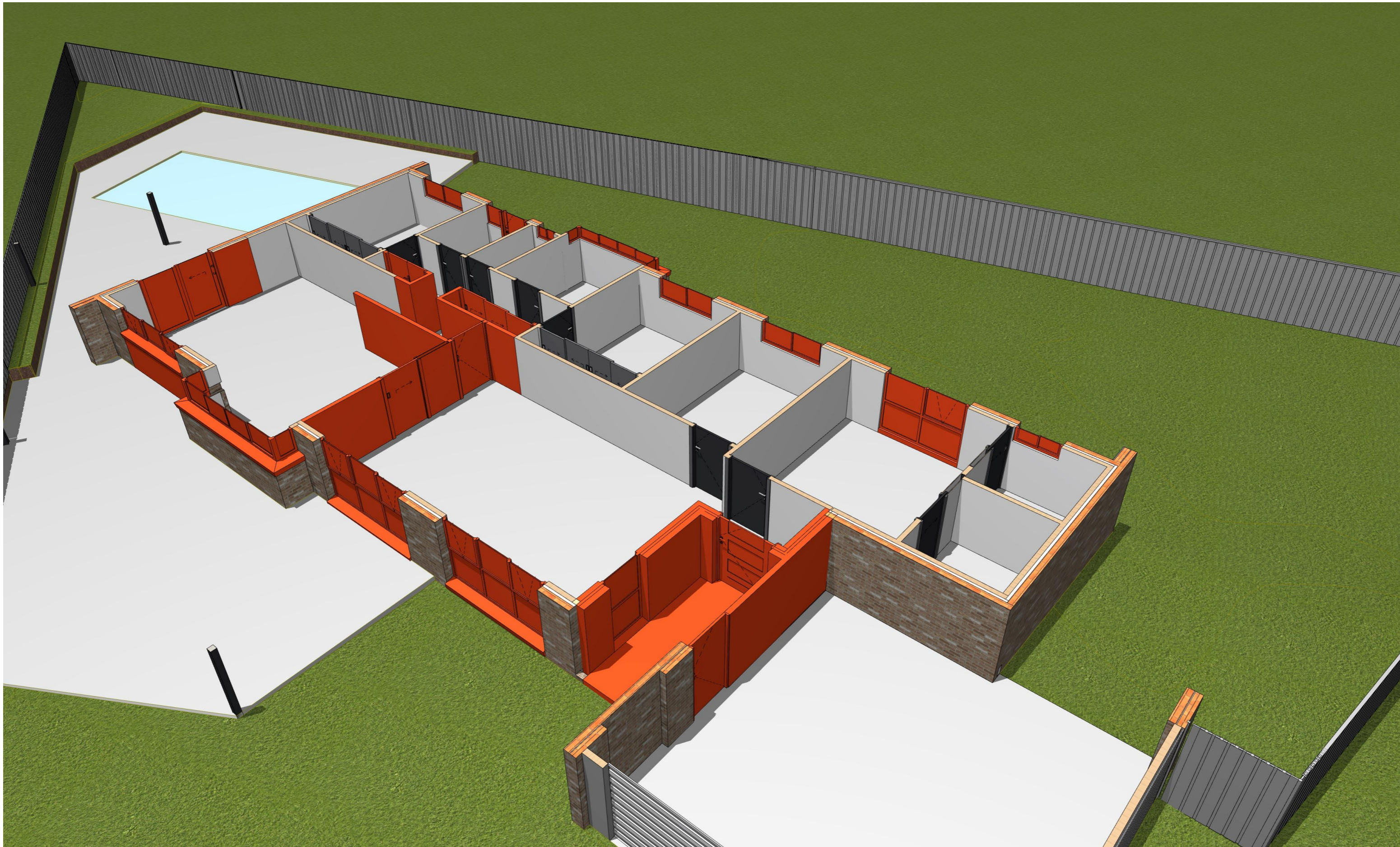
DRAWING NAME  
**3D FLOOR PLAN - NEW 1**

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	35	

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE



PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1 22.45 m2  
 Proposed Renovation Area - Inside Existing Residence 109.78 m2  
 Proposed Roof Area - Class 1 23.44 m2  
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 Site Coverage (LARGE | max 40%) 272.75 m2 = 36.10 %

REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

DRAWING NAME  
**3D FLOOR PLAN - DEMOLITION 2**

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	36	

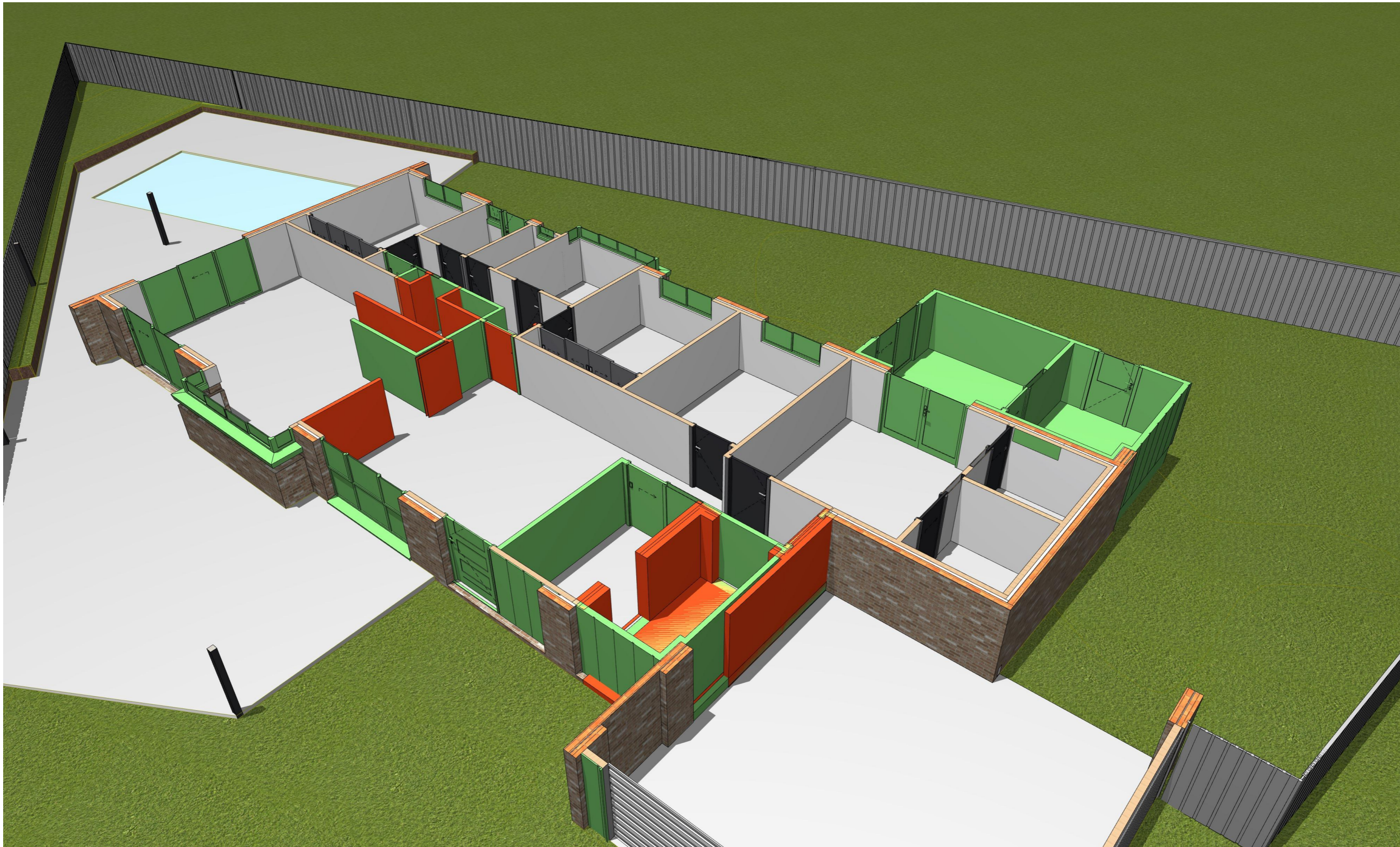
PROJECT TYPE

ARCHITECT

DESIGNER

TEMPLATE

BLOCK TYPE  
 LARGE



PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1 22.45 m2  
 Proposed Renovation Area - Inside Existing Residence 109.78 m2  
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**Block Area 700.00 m2**  
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REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

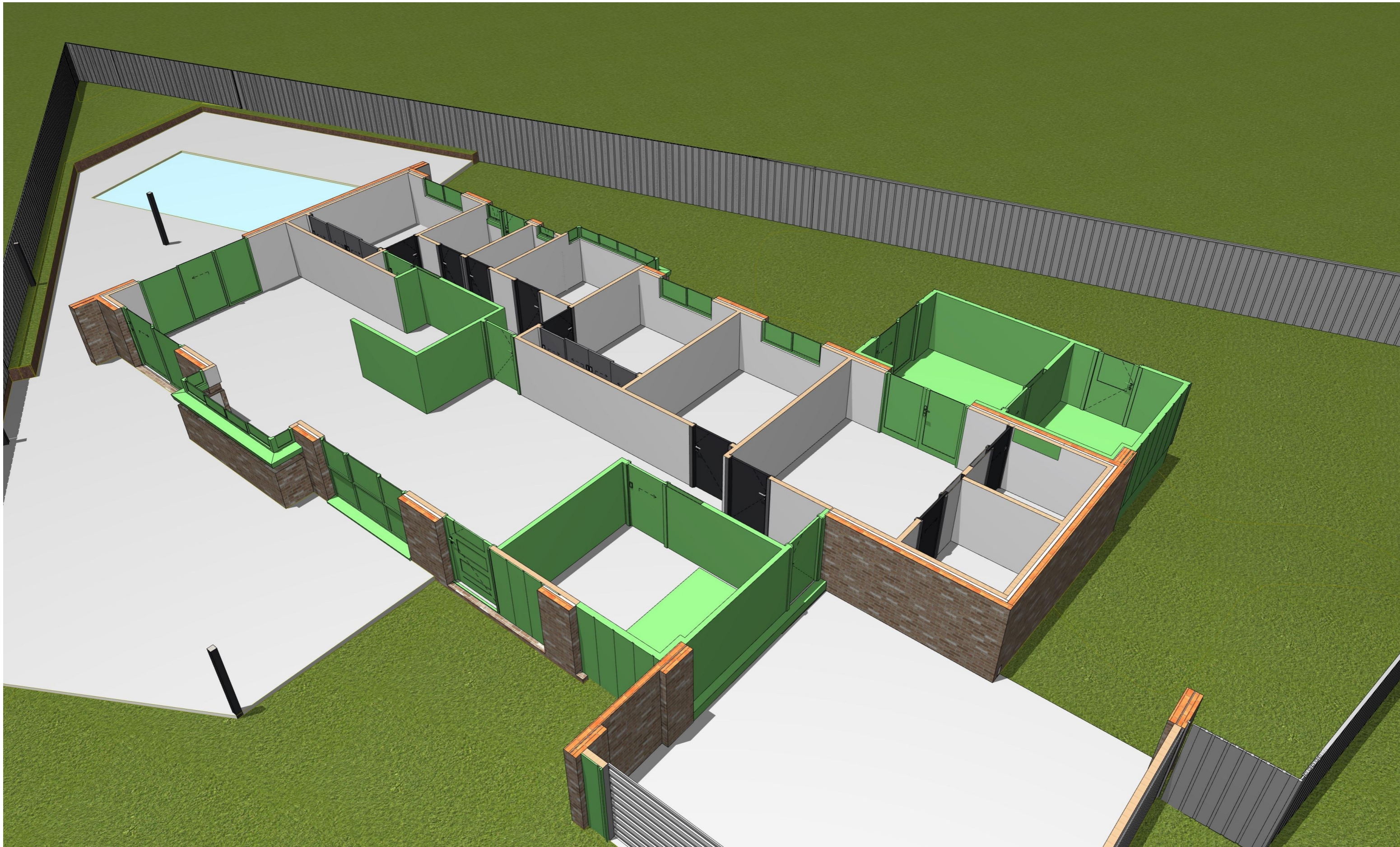
DRAWING NAME  
**3D FLOOR PLAN - DEMOLITION AND NEW 2**

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	37	

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE



PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1 22.45 m2  
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 Proposed Roof Area - Class 1 23.44 m2  
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REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

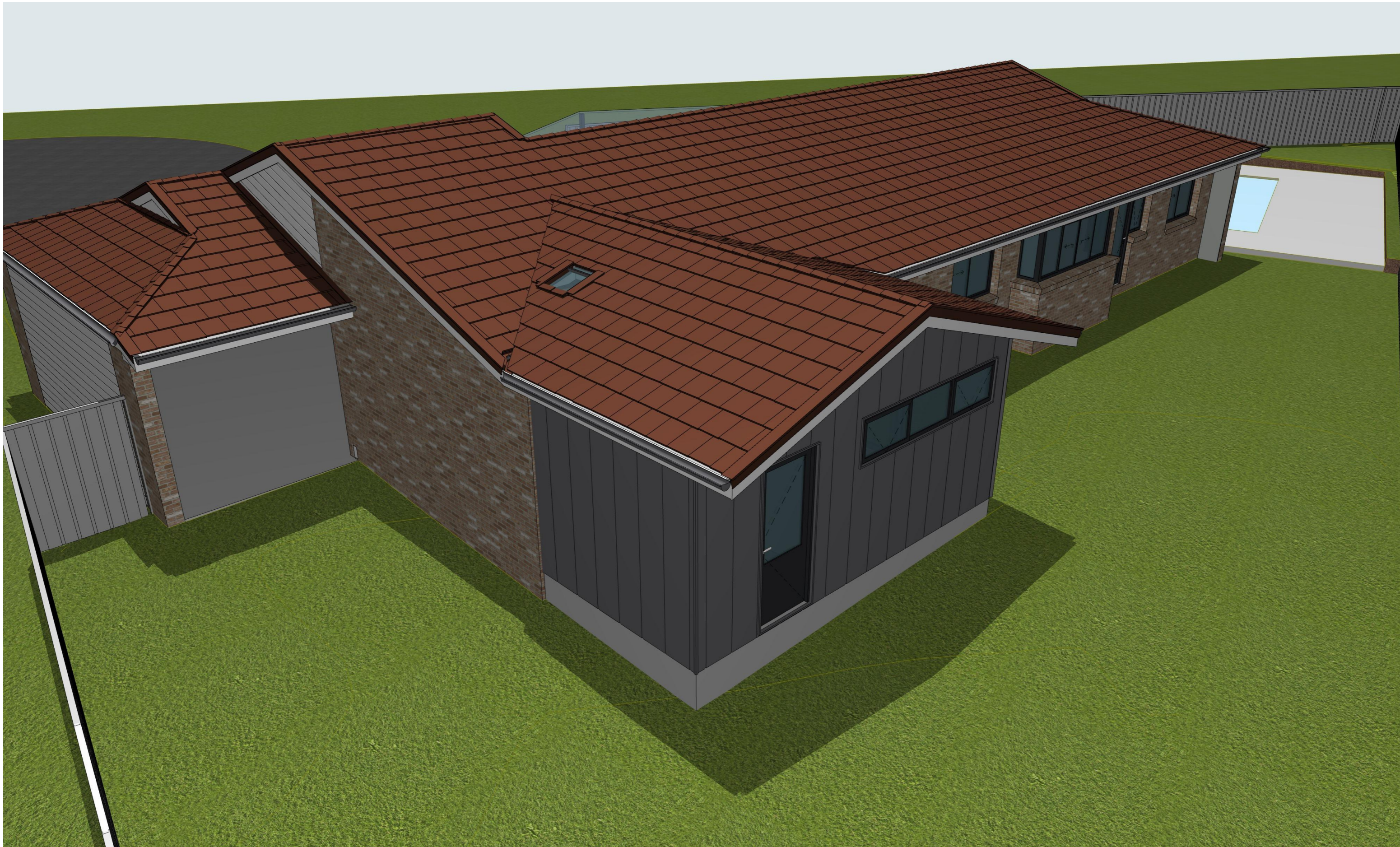
DRAWING NAME  
**3D FLOOR PLAN - NEW 2**

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	38	

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE



PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1 22.45 m2  
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REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

DRAWING NAME  
**SNAPSHOT 1**

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	A3	39	

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

Appliances	
Symbol	Description
	Washing Machine
	Dryer
	Washing machine with Dryer above
	Cooktop
	Oven
	Cooktop with Oven below
	Dishwasher
	Heat Pump Hot Water Service
	Electric Storage Hot Water Service
	Manifold for Hydronic Heating
	Continuous Flow Hot Water Service
	A/C Indoor Unit
	A/C Outdoor Unit
	Ducted Reverse Cycle AC
	filtered egg
	Wall-Mounted Rangehood
	4 Lamp Heat Fan Light
	2 Lamp Heat Fan Light
	Exhaust Fan
	Wall Exhaust Fan
	Wall Heater

Electrical	
Symbol	Description
	Sub Mains Distribution Board
	Electrical Sub Meter
	Double Powerpoint
	Under Bench Double Powerpoint
	USB Powerpoint
	Single Powerpoint
	Floor Mounted Double Power Point
	Continuous Flow Hot Water Service Control Panel
	Appliance/Component Exterior powerpoint
	Smoke Alarm
	Underall Heating Control Panel
	Electric Opening Window
	Solar Power Board

Lighting	
Symbol	Description
	LED Downlight
	Shower Ledge
	Exterior LED Downlight
	Pendant Light
	Spotlight
	Tube Light
	Ceiling Fan
	Ceiling Fan Light
	Sensor Flood Light
	motion sensor
	Oyster Light
	Wall light
	Light switch
	Light switch connection
	Dimmer Connection

Tapware	
Symbol	Description
	Wall Taps
	Wall Mixer
	Bath Spout
	Wall Shower Head
	Shower Head with Rail
	Ceiling Shower Head

Bathroom Accessories	
Symbol	Description
	Toilet Paper Holder
	Grab Rail
	Hand Towel Hook
	Towel Rail
	Robe Hook
	450mm Shaving Cabinet - Wall Mounted
	Mirrored Cabinet-Inset into Wall
	Mirror
	Tiled Insert
	Soap Holder
	Shower Shelf
	Fixed Panel
	Shower Strip
	Double Towel Rail

Exterior Plumbing Services	
Symbol	Description
	Exterior Tap
	Exterior Tap Connected to Tank
	Water Sub Meter
	Downpipe
	Water Isolation Tap
	Gas Bayonet

Water Tanks		
Symbol	Description	Size
	Slimline Water Tanks	2000 L 3000 L 5000 L
	Round Water Tank	2000 L 3000 L 5000 L

Wall Tiles and Splash back		
Symbol	Description	Height
	Tile	Aprox 300 mm
	Tile	Aprox 600 mm
	Tile	Aprox 1200 mm
	Tile	Aprox 2100 mm
	Tile	Full height
	Kitchen Splashback	Full height

Shower Screen	
Symbol	Description
	Shower Screen-Fix Panel
	Shower Screen-Sliding Door
	Shower Screen-Pivot Door
	Corner Shower Screen - Pivote Door

Manhole	
Symbol	Description
	Manhole
	Manhole Access Leader

Communication	
Symbol	Description
	TV Point
	Telephone Point
	Data Point
	Communication Hub

Interior Plumbing Services	
Symbol	Description
	Square Floor Waste
	Round Floor Waste
	Channel Floor Waste
	Gas Bayonet

PROJECT DETAILS

Proposed Structure GFA - Single Storey - Class 1 22.45 m2  
 Proposed Renovation Area - Inside Existing Residence 109.78 m2  
 Proposed Roof Area - Class 1 23.44 m2  
**Block Area 700.00 m2**  
 Actual Block Ratio 30.52 %  
 Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2  
 Minimum Private Open Space (Block area x 0.60) 420.00 m2  
 Site Coverage (LARGE | max 40%) 272.75 m2 = 36.10 %

22.45 m2  
109.78 m2  
23.44 m2  
700.00 m2  
30.52 %  
453.13 m2  
420.00 m2  
272.75 m2 = 36.10 %

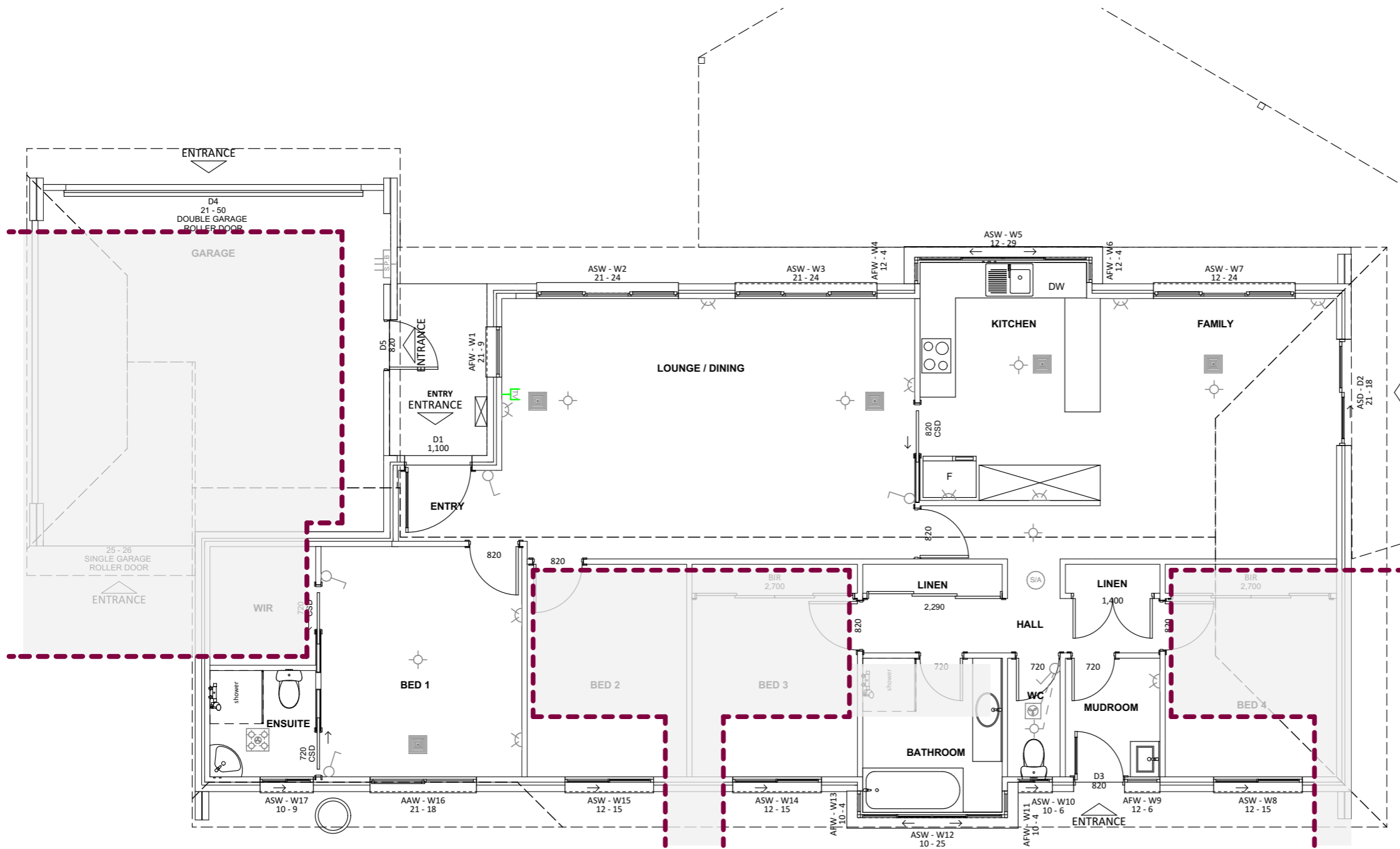
REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME			
<b>Inclusions and Services Legend</b>			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
	<b>A3</b>	<b>40</b>	

PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

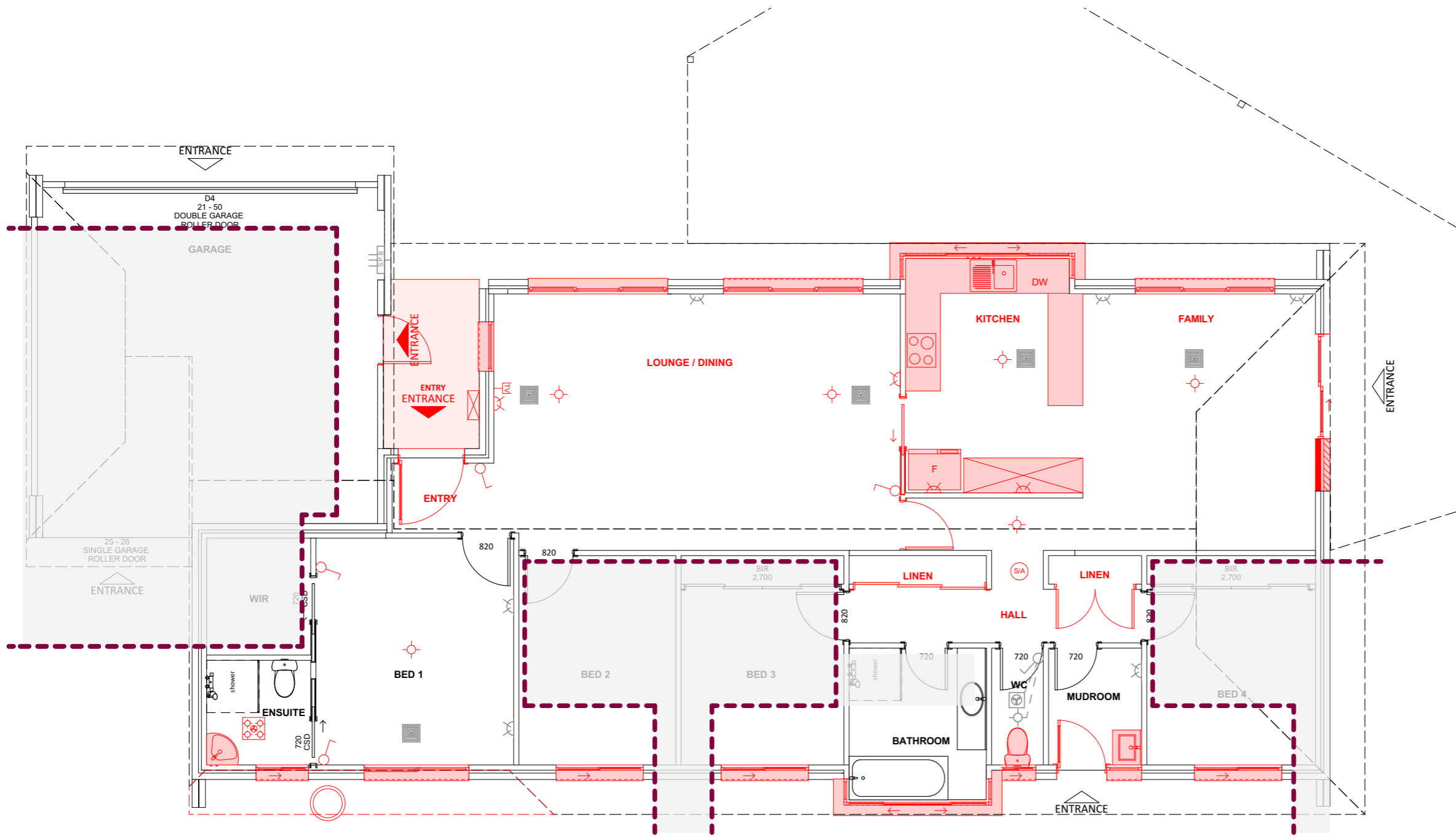


WALLS LEGEND - EXISTING	
	Not Part of the Current Renovation
	Working Area for Renovation
	All existing items are with grey color

**NOTES:**

- The margin between on site measurements and plans can be up to 10 cm.
- The solution proposed can be altered on-site, if a better solution presents itself, or if there are hidden elements that we were not aware of before.
- Before ordering any materials, builders must check the measurements on-site.
- Underground services have not been located.

PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m2 Proposed Renovation Area - Inside Existing Residence 109.78 m2 Proposed Roof Area - Class 1 23.44 m2 <b>Block Area 700.00 m2</b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2 Minimum Private Open Space (Block area x 0.60) 420.00 m2 Site Coverage (LARGE   max 40%) 272.75 m2 = 36.10 %	REV	DESIGN PHASE	DATE	DRAWING NAME			
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE LARGE		P1.2 CUSTOMER APPROVAL NAME SIGNATURE DATE	P1.2 PROJECT PLANS 31/01/2023	<b>Inclusions and Services Plan - Existing</b>				
					DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER				
					1:80	A3	41					







WALLS LEGEND - DEMOLITION	
	Not Part of the Current Renovation
	Working Area for Renovation
	All existing items are with grey color
	Demolished items are with Red color

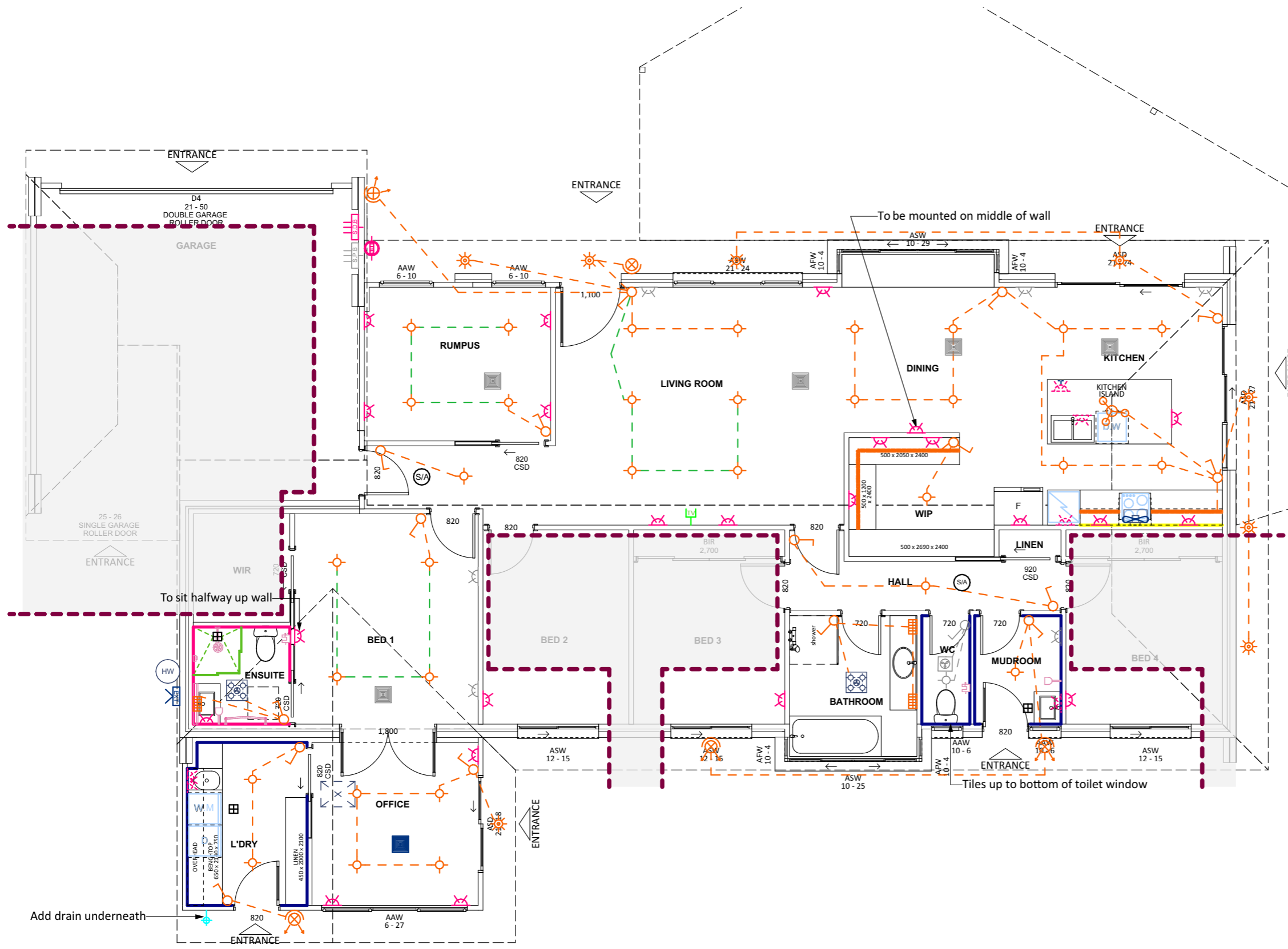
NOTES:

- The margin between on site measurements and plans can be up to 10 cm.
- The solution proposed can be altered on-site, if a better solution presents itself, or if there are hidden elements that we were not aware of before.
- Before ordering any materials, builders must check the measurements on-site.
- Underground services have not been located.

PROJECT TYPE					PROJECT DETAILS					Proposed Structure GFA - Single Storey - Class 1 22.45 m2 Proposed Renovation Area - Inside Existing Residence 109.78 m2 Proposed Roof Area - Class 1 23.44 m2 <b>Block Area 700.00 m2</b> Actual Block Ratio 30.52 % Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 453.13 m2 Minimum Private Open Space (Block area x 0.60) 420.00 m2 Site Coverage (LARGE   max 40%) 272.75 m2 = 36.10 %			REV P1.2 DESIGN PHASE PROJECT PLANS DATE 31/01/2023		DRAWING NAME <b>Inclusions and Services Plan - Demolition</b>		
ARCHITECT					DESIGNER					CUSTOMER APPROVAL							
TEMPLATE					BLOCK TYPE LARGE					DRAWING SCALE <b>1:80</b>		SHEET SIZE <b>A3</b>		DRAWING NUMBER <b>42</b>		CHECKLIST NUMBER	
NAME					SIGNATURE					DATE							

WALLS LEGEND - NEW	
	Not Part of the Current Renovation
	Working Area for Renovation
	All existing items are with grey color
	All new items are coloured according to Inclusions Legend - Main Page

NOTES:  
 - The margin between on site measurements and plans can be up to 10 cm.  
 - The solution proposed can be altered on-site, if a better solution presents itself, or if there are hidden elements that we were not aware of before.  
 - Before ordering any materials, builders must check the measurements on-site.  
 - Underground services have not been located.



PROJECT DETAILS				
PROJECT TYPE	ARCHITECT	DESIGNER	TEMPLATE	BLOCK TYPE
				LARGE

Proposed Structure GFA - Single Storey - Class 1	22.45 m <sup>2</sup>
Proposed Renovation Area - Inside Existing Residence	109.78 m <sup>2</sup>
Proposed Roof Area - Class 1	23.44 m <sup>2</sup>
<b>Block Area</b>	<b>700.00 m<sup>2</sup></b>
Actual Block Ratio	30.52 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	453.13 m <sup>2</sup>
Minimum Private Open Space (Block area x 0.60)	420.00 m <sup>2</sup>
Site Coverage (LARGE   max 40%)	272.75 m <sup>2</sup> = 36.10 %

REV	DESIGN PHASE	DATE
P1.2	PROJECT PLANS	31/01/2023

CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
Inclusions and Services Plan - New			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:80	A3	43	